

**CLARKE COUNTY PLANNING COMMISSION  
TABLE OF CONTENTS  
July 2019 Combined Meeting Packet**

<b><u>Item #</u></b>	<b><u>Description</u></b>	<b><u>Pages</u></b>
	<b><u>July 9, 2019 Work Session</u></b>	
<b>1</b>	<b>Meeting Agenda</b>	1
<b>3</b>	<b>New Business Items</b>	
<b>3A</b>	-- Zoning and Subdivision Ordinance Update Project, Revised Work Plan	2-7
<b>3B</b>	-- Review of 2019 Project Priorities	8-9
<b>4</b>	<b>Old Business Items</b>	
<b>4A</b>	-- Zoning and Subdivision Ordinance Update Project Progress Report	10-11
	<b><u>July 12, 2019 Business Meeting</u></b>	
<b>1</b>	<b>Meeting Agenda</b>	12-13
<b>2</b>	<b>Approval of Minutes</b>	
<b>2A</b>	-- June 4, 2019 Work Session	14-18
<b>2B</b>	-- June 7, 2019 Business Meeting	19-23
<b>3</b>	<b><u>SUP-19-01/SP-19-01, Crown Castle</u></b>	24-93
<b>6</b>		
<b>4</b>	<b><u>MS-19-03/MLSE-19-02, Shannon Dulaney (Applicant)/Sharon Warfield (Owner)</u></b>	94-102



# Clarke County Planning Commission

**AGENDA – Work Session**

**Tuesday, July 9, 2019 – 3:00PM**

**Berryville/Clarke County Government Center– A/B Meeting Room**

- 1. Approval of Work Session Agenda**
- 2. Review of Agenda Items for July 12, 2019 Business Meeting**
- 3. New Business Items**
  - A. Zoning and Subdivision Ordinance Update Project, Revised Work Plan
  - B. Review of 2019 Project Priorities
- 4. Old Business Items**
  - A. Zoning and Subdivision Ordinance Update Project Progress Report
- 5. Other Business**
- 6. Adjourn**



## Clarke County Planning Department

101 Chalmers Court, Suite B

Berryville, Virginia 22611

(540) 955-5132

[www.clarkecounty.gov](http://www.clarkecounty.gov)

**TO: Planning Commission members**

**FROM: Brandon Stidham, Planning Director**

**RE: Zoning and Subdivision Ordinance Update Project, Revised Work Plan**

**DATE: July 2, 2019**

Item 3A on the July 9 work session agenda is the review of a revised work plan for the Zoning and Subdivision Ordinance Update Project.

The original work plan was established by the Ordinances Committee and Staff in December 2017 at the beginning of the project and it planned for completion and adoption of the new ordinances by late 2019. The revised work plan was developed by Staff and accepted by the Ordinances Committee on June 7 and it accounts for additional time that was necessary in order to complete review of the policy and technical issues (Step 2). As you will note, the revised work plan now projects completion and adoption of the new ordinances by late Spring 2020.

The project is currently in Step 4 – “Present draft Zoning Ordinance, Subdivision Ordinance, Definitions Article, and Guidance Manual to the Ordinances Committee for final approval.” New critical dates in the work plan have Staff completing drafts (Version #2) and having them reviewed by the County Attorney by early August. The resultant drafts following legal review (Version #3) will be presented by Staff to the Committee over a series of three (with an optional fourth) workshops from mid-August through mid-September. Step 4 will culminate in formal action by the Committee to forward the drafts, likely with edits, to the full Commission and Board of Supervisors for review under Step 5.

Step 5 involves the presentation of the Ordinances Committee’s recommended drafts (Version #4) to the full Commission and Board in a series of four joint workshops that would be held from mid-October through early December. The purpose for holding multiple joint workshops is to present the ordinances to both bodies at the same time in manageable groupings of topics. This will help promote a better overall understanding of the changes, and encourage questions and discussion among Commissioners and Board members. As you will note, the revised work plan contains optional dates for each of the four meetings – we are looking for direction from the Commission on preferred dates as well as preferred meeting times:

- Meeting #1 – Wednesday, October 16 OR Thursday, October 17
- Meeting #2 – Thursday, October 31 OR Friday, November 1 (following Business Meeting)
- Meeting #3 – Wednesday, November 13 OR Thursday, November 14
- Meeting #4 – Friday, December 6 (following Business Meeting)

Staff will complete Step 5 by compiling all comments and changes requested by the Commission and Board at the joint workshops into final drafts of the ordinances for public hearing (Version #5). This is projected for completion by mid-December.

Step 6 involves Public Outreach, Formal Public Hearings, and Adoption of the ordinances. In order to maximize public knowledge and input of the revised ordinances, Staff is recommending that both the Commission and Board schedule formal public hearings two months in advance instead of the usual one month. This would give Staff additional time to publicize the effort and solicit public comment. If necessary, Staff could also hold informal public workshops during this time to provide additional outreach to interested stakeholders.

The revised timeline for Step 6 is as follows:

- **January 2020 Commission Business Meeting** – Set Public Hearing for March 2020.
- **March 2020 Commission Business Meeting** – Conduct Public Hearing and take formal action to recommend adoption of ordinances or defer action to the April 2020 Business Meeting.
- **April 2020 Commission Business Meeting (if necessary)** – Take formal action to recommend adoption of ordinances.
- **March 2020 OR April 2020 Board of Supervisors Meeting** – Set Public Hearing for May 2020 or June 2020 meeting depending upon when formal recommendation is provided by the Commission.
- **May 2020 OR June 2020 Board of Supervisors Meeting** – Conduct Public Hearing and adopt the ordinances or defer action to the next Board meeting.

Step 7 is the completion of the project with Staff's wrap-up activities. Following adoption of the ordinances by the Board, Staff will incorporate any last-minute changes into the final adopted versions of the Ordinances. Any changes made by the Board will be communicated to the Commission and electronic copies of the ordinances will be made available within one week of the adoption date. Hard copies will be outsourced for printing with a limited number printed in-house for immediate use. The Guidance Manual will be finalized and made available to the public within 30 days of the ordinances adoption date and copies of all pertinent project documents will be organized and archived within 60 days of the adoption date.

If you have any questions on this issue prior to the Work Session, please feel free to contact me.

**ZONING AND SUBDIVISION ORDINANCE UPDATE PROJECT WORK PLAN  
(APPROVED BY ORDINANCES COMMITTEE 6/7/2019)**

**COMPLETED:**

**STEP 1** – Adopt work plan, project policies, and timeline

**STEP 2** – Discuss and provide formal direction on policy and technical issues

**STEP 3** – Approve framework for draft Ordinances

**TO BE COMPLETED:**

**STEP 4** – Present draft Zoning Ordinance, Subdivision Ordinance, Definitions Article, and Guidance Manual to Ordinances Committee for final approval

- Zoning Ordinance and Definitions Article -- Staff to complete rough draft (Version #1) and initial draft for legal review (Version #2). **COMPLETED – Sent to County Attorney on May 20.**
- Subdivision Ordinance – Staff to complete rough draft (Version #1) and initial draft for legal review (Version #2) by **Monday, July 8.**
- Staff will also develop the initial draft of the Guidance Manual, primarily to depict the overall layout of the Manual and identify the current Ordinance sections that will be moved there. Staff to complete initial draft by **Friday, July 26.** Legal review of Guidance Manual is not needed at this stage since it does not require formal adoption.
- Legal review of the Zoning Ordinance, Subdivision Ordinance, and Definitions Article to be completed by **Friday, August 9.**
- Initial drafts for Committee review of the Zoning Ordinance (Version #3), Subdivision Ordinance (Version #3), Definitions Article (Version #3), and Guidance Manual (Version #1) to be completed and sent to Committee by **Wednesday, August 14.**
- Committee review will take place over three meetings with an optional fourth meeting if needed.
- Following approval by the Committee, Staff will incorporate the Committee’s comments into an initial draft for Commission and Board review (Version #4).

## **Ordinances Committee Meeting Schedule**

- **Meeting #1 (Thursday, August 22):**
  - Overview of draft Ordinances and Definitions Article, layout and usage
  - Incorporation of policy and technical issues including comments received from Commissioners and Board members on Final Report
  - Introduction to Guidance Manual
- **Meeting #2 (Thursday, August 29):**
  - Review districts, uses, and use regulations
  - Overview of changes to review processes since previous Committee discussion
- **Meeting #3 (Friday, September 6 following Commission Business Meeting):**
  - Open session, questions and concerns
  - Recap of changes to be made to Version #3 drafts
  - Discuss next steps in work plan
  - Final action to approve for review by Commission and Board OR defer for additional discussion to next meeting
- **Meeting #4 (Tuesday, September 10):**
  - If necessary for further discussion/final action

## **STEP 5 – Presentation of Initial Draft Ordinances for Planning Commission and Board of Supervisors Review (Version #4)**

- Staff will complete Version #4 of the Ordinances and Definitions Article containing comments from the Ordinances Committee by **Friday, September 20**. Distribution of electronic and hard copies to be ready by **Friday, September 27**.
- Staff recommends a series of four Joint Special Workshops with the Planning Commission and Board of Supervisors to review and discuss Ordinances, Definitions Article, and Guidance Manual.
- **Meeting #1 – Wednesday, October 16 OR Thursday, October 17:**
  - Introduction to Zoning Ordinance, Subdivision Ordinance, Definitions Article and Guidance Manual
  - Review general changes, new layout, and usage
  - Review of key substantive changes coming from policy and technical issues
- **Meeting #2 – Thursday, October 31 OR Friday, November 1 (following Commission Business Meeting):**
  - Review districts, uses, and use regulations
  - Overview of Definitions Article

- **Meeting #3 – Wednesday, November 13 or Thursday, November 14:**
  - Discuss Zoning and Subdivision review processes
  - Discuss how the Guidance Manual will be used
  - Questions and concerns from members
- **Meeting #4 -- Friday, December 6 (following Commission Business Meeting):**
  - Open session, remaining questions and concerns
  - Adoption process and scheduling of public hearings
  - Authorization to develop Version #5 of Zoning Ordinance, Subdivision Ordinance, and Definitions Article for Public Hearing
- Staff to complete Final Drafts for Public Hearing of the Ordinances and Definitions Article (Version #5) by **Friday, December 13.**

### **STEP 6 – Public Outreach, Formal Public Hearings, and Adoption**

- Staff recommends the Commission schedule Public Hearings two months in advance instead of one month. Staff will use the additional time to publicize the Ordinance Update Project and solicit public comment.
- **Planning Commission Business Meeting – January 10, 2020**
  - Schedule public hearing for March 2020 Business Meeting (2 month lead time)
- **Planning Commission Business Meeting – March 2020**
  - Conduct Public Hearings on the Final Draft Ordinances and Definitions Article (Version #5)
  - Adopt formal recommendation on Version #5 drafts OR defer discussion to April 2020 Business Meeting
- **Planning Commission Business Meeting – April 2020 (if needed)**
  - Adopt formal recommendation on Version #5 drafts
- **Board of Supervisors Meeting – March 2020 OR April 2020**
  - Schedule public hearing for **May 2020** or **June 2020** meeting (2 month lead time), depending upon when Commission adopts formal recommendation
- **Board of Supervisors Meeting – May 2020 OR June 2020**
  - Conduct Public Hearings on Final Draft Ordinances and Definitions Article (Version #5)
  - Take action to adopt the Final Draft Ordinances and Definitions Article OR defer action to next Board meeting

## **STEP 7 – Wrap-Up Activities**

- Following Board adoption, Staff will incorporate any changes to the Version #5 drafts and will create the final versions of the Zoning Ordinance (Article I), Subdivision Ordinance (Article II), and Definitions (Article III). Any changes made by the Board to the final adopted versions will be communicated to the Planning Commission at their next scheduled meeting.
- Electronic copies will be finalized and made available within one week of the adoption date. Hard copies will be sent out for printing with a small number of copies printed in-house for immediate usage.
- Staff will finalize the Guidance Manual and make it available to the public within 30 days of the adoption date of the Ordinances and Definitions. The Guidance Manual does not have to be formally adopted by the Commission or the Board.
- Copies of all pertinent meeting minutes, public drafts, tracking spreadsheets, and other important information will be archived by Staff within 60 days of the adoption date.



## Clarke County Planning Department

101 Chalmers Court, Suite B

Berryville, Virginia 22611

(540) 955-5132

[www.clarkecounty.gov](http://www.clarkecounty.gov)

**TO: Planning Commission members**

**FROM: Brandon Stidham, Planning Director**

**RE: Review of 2019 Project Priorities**

**DATE: July 2, 2019**

Item 3B on the July 9 work session agenda is the review of the Planning Commission's 2019 Project Priorities.

For the last several years, the Commission has established a prioritized list of projects in January that the members plan to complete over the course of the calendar year. The Commission typically revisits the list in July to note items that have been completed and to make any necessary adjustments for the remainder of the year. The revised priority list is then accepted by the members' consensus.

Staff has made some adjustments and provided a revised Priorities List for your review. The Ordinance Update project remains the top priority and the new projected adoption date is included. Staff recommends moving the adoption of a five-year review resolution for the Economic Development Strategic Plan up to the #2 priority as the Commission must adopt this resolution by October 21. With the extended work plan for the Ordinance Update project, Staff recommends moving the Comprehensive Plan and Transportation Plan items to priorities #3 and #4. Staff originally anticipated being able to start work on revising these Plans in the fall in accordance with the review resolutions adopted earlier this year, but now recommends moving the start of these efforts to 2020.

If you have any questions on this issue prior to the Work Session, please feel free to contact me.

**2019 PROJECT PRIORITIES – PLANNING COMMISSION  
(DRAFT – July 2019)**

The list is intended to aid the Commission and Staff to ensure that work on critical projects is prioritized and completed in a timely fashion. Project start dates and priorities may be affected by the Commission’s zoning case load (e.g., SUPs, rezoning, site plans, subdivisions), text amendments, or other special projects requested by the Board of Supervisors.

**1. Comprehensive Review and Update of the Zoning and Subdivision Ordinances**

UNDERWAY – Project tasks are scheduled throughout 2018 with estimated completion **and adoption in late-2019 by Spring 2020.**

**2. Five-Year Review of Economic Development Strategic Plan (due October 21, 2019)**

INCOMPLETE – Adopt five-year review resolution by October 21, 2019. Upon adoption of the resolution, determine task assignments and timeline for completion of the Strategic Plan update.

**3. Five-Year Review and Update of Comprehensive Plan**

INCOMPLETE – ~~Draft five-year review resolution complete—adopt resolution by March 18, 2019~~ **Five-year review resolution adopted by the Planning Commission.** Assign review tasks to Comprehensive Plan Committee with work to begin ~~mid-year in 2020~~ pending completion of the initial draft Zoning and Subdivision Ordinances.

**4. Five-Year Review and Update of Transportation Plan**

INCOMPLETE – ~~Draft five-year review resolution complete—adopt resolution by March 18, 2019~~ **Five-year review resolution adopted by the Planning Commission.** Assign review tasks to Comprehensive Plan Committee with work to begin ~~mid-year in 2020~~ pending completion of the initial draft Zoning and Subdivision Ordinances.

## ZONING AND SUBDIVISION ORDINANCE UPDATE PROJECT PROGRESS REPORT (JUNE 2019)

### **Work Plan Items Completed to Date:**

- Step 1 – Adopt Work Plan, Project Policies and Timeline
- Step 2 – Discuss and Provide Formal Direction on Policy Issues
- Step 3 – Approve Framework for Draft Ordinances.

### **Work Plan Items in Process:**

- Revised Work Plan. Staff has developed a revised work plan and timeline for completion of the project. The draft was discussed with the Ordinances Committee at their June 7 meeting and the Committee accepted it by consensus.

The revised work plan contains new milestone dates for completion of final Staff work and legal review of the draft Ordinances and Guidance Manual, as well as for final review and acceptance by the Ordinances Committee. The work plan also proposes a series of joint work sessions with the Commission and Board to be held in October and November to present the draft Ordinances in manageable increments. Final public hearings for review and adoption of the Ordinances would occur in early 2020.

Staff will present the revised work plan to the full Planning Commission at their work session on July 9 and to the Board of Supervisors at their July 16 meeting.

- Step 4 -- Present Draft Ordinance Text by Chapter and by Subject. Staff's work on the initial draft Ordinances during this period is summarized as follows:
  - Staff completed work on the second drafts of the Zoning Ordinance and Definitions Article. These drafts were forwarded to the County Attorney for legal review on May 20. Legal review should be completed no later than Friday, August 9.
  - Staff has started work on the initial draft of the Subdivision Ordinance with the goal of having a second draft for legal review completed and sent to the County Attorney no later than Monday, July 8. Legal review of the draft Subdivision Ordinance is also requested back from the County Attorney no later than Friday, August 9.
  - Staff will begin work on the initial draft of the Guidance Manual upon completion of the second draft Subdivision Ordinance for legal review. As you may remember, the Guidance Manual is an administrative companion to the revised Ordinances that is designed to help customers understand the various review processes and regulations. Since it is maintained by Staff as a customer service

resource and is not an ordinance, it does not require public hearing or adoption by the Board of Supervisors. Staff plans to provide the draft Guidance Manual for review by the Commission and Board as some current Ordinance provisions are proposed to be moved there, and to help illustrate how the resource will be used with the new Ordinances.

**Upcoming Ordinances Committee Meetings Scheduled:**

- #26 – Thursday, August 22, 2019:
  - Review Drafts #3 of Zoning Ordinance, Subdivision Ordinance, Definitions Article, and Initial Draft of the Guidance Manual
- #27 – Thursday, August 29, 2019:
  - Continued review of Ordinances
- #28 – Friday, September 6, 2019 (immediately following Commission Business Meeting):
  - Continued review of Ordinances
  - Possible final action to approve drafts for review by full Commission and Board of Supervisors
- #29 – Tuesday, September 10, 2019:
  - If necessary to take final action on the drafts



# Clarke County Planning Commission

AGENDA – Business Meeting

Friday, July 12, 2019 – 9:00AM

Berryville/Clarke County Government Center – Main Meeting Room

1. **Approval of Agenda**
2. **Approval of Minutes**
  - A. June 4, 2019 Work Session
  - B. June 7, 2019 Business Meeting

## Set Public Hearing Item

3. **SUP-19-01/SP-19-01, Crown Castle.** Request approval of a Special Use Permit (SUP) and Site Plan to construct a new 185-foot Class 4 Wireless Communication Facility (WCF) that would replace an existing 84-foot monopole per §3-A-2-a-3-r of the Zoning Ordinance. The property is located on the west side of Mt. Carmel Road (Rt. 606) approximately 450 feet from its intersection with U.S. 50/17 (John Mosby Highway), Tax Map #39-A-74, is 84.55 acres in size, and is zoned Forestal-Open Space-Conservation (FOC).

## Minor Subdivision Review

4. **MS-19-03/MLSE-19-02, Shannon Dulaney (Applicant)/Sharon Warfield (Owner).** Request approval of a two lot Minor Subdivision and Maximum Lot Size Exception for the properties identified as Tax Maps #22-A-17A and 17B, located at 987 Annfield Road, White Post Election District, zoned Agricultural-Open Space-Conservation (AOC).

## Board/Committee Reports

5. **Board of Supervisors (Mary Daniel)**
6. **Board of Septic & Well Appeals (George Ohrstrom, II)**
7. **Board of Zoning Appeals (Anne Caldwell)**
8. **Historic Preservation Commission (Doug Kruhm)**
9. **Conservation Easement Authority (George Ohrstrom, II)**
10. **Broadband Implementation Committee (Mary Daniel)**

## Other Business

11. **Discussion, AirBNBs**
12. **Letter of Appreciation for Cliff Nelson**
13. **Discussion with Piedmont Environmental Council (PEC) Fellowship Program participants**

## Adjourn

<b>UPCOMING MEETINGS:</b>
<b>Comprehensive Plan Committee Meeting</b> <b>AUGUST MEETING DATE TO BE DETERMINED</b>
<b>Ordinances Committee Meeting</b> Thursday, August 22 (2:00PM)
<b>Ordinances Committee Meeting</b> Thursday, August 29 (2:00PM)
<b>Commission Work Session</b> Tuesday, September 3, 2019 (3:00PM)
<b>Commission Business Meeting</b> Friday, September 6, 2019 (9:00AM)
<b>Ordinances Committee Meeting</b> Friday, September 6 (immediately following Commission Business Meeting)
<b>Ordinances Committee Meeting -- TENTATIVE</b> Monday, September 10 (2:00PM)

# Clarke County

---

**PLANNING COMMISSION  
WORK SESSION MINUTES -- DRAFT  
TUESDAY, JUNE 4, 2019**



A work session of the Planning Commission of Clarke County, Virginia, was held at the Berryville/Clarke County Government Center, Berryville, Virginia, on Tuesday, June 4, 2019.

## **ATTENDANCE**

**Present:** Robina Bouffault; Randy Buckley; Anne Caldwell; Mary Daniel (arrived late); Bob Glover; Scott Kreider; Doug Kruhm; Frank Lee; Gwendolyn Malone; Pete Maynard; and George L. Ohrstrom, II.

**Absent:** None

**Staff Present:** Brandon Stidham, Planning Director; Ryan Fincham, Senior Planner/Zoning Administrator

**Others Present:** Niki Adhikusuma (Greenway Engineering)

## **CALLED TO ORDER**

Mr. Stidham called the meeting to order at 2:59PM.

## **APPROVAL OF WORK SESSION AGENDA**

Members approved the work session agenda as presented by consensus.

## **REVIEW OF AGENDA ITEMS FOR JUNE 7, 2019 BUSINESS MEETING**

### SP-18-02, Robert Claytor

Mr. Fincham provided an update on the status of this site plan application for an addition to the existing HandyMart facility in Waterloo, noting that the Commission last reviewed it in November 2018. He said that the applicant has requested deferrals each month since November primarily to resolve stormwater issues with the Virginia Department of Environmental Quality (DEQ) and the Virginia Department of Transportation (VDOT). He noted that the applicant has worked with DEQ to resolve all but two comments that can be addressed administratively. Mr. Fincham then reviewed the status of the remaining agency reviews and the County's engineering consultant's review.

Mr. Fincham introduced the applicant's representative, Niki Adhikusuma, who provided an overview of the project's stormwater management issues. Ms. Bouffault asked if there is a future widening of either U.S. 340 or U.S. 50 that would require additional stormwater capacity, would Mr. Claytor provide a portion of his property for stormwater management. Mr. Adhikusuma replied that Mr.

Claytor is aware that he may have to provide land in the future for stormwater management but that it will be dependent upon future negotiations between VDOT and Mr. Claytor regarding his land and VDOT's park and ride lot. Mr. Adhikusuma also reviewed the internal circulation plan for the proposed diesel pumps as it relates to the existing HandyMart facility. He said that he proposed four potential options and the option depicted in the revised site plan is the one that VDOT supports. He added that VDOT wanted to discourage exiting truck traffic onto U.S. 50 eastbound that would attempt to make a u-turn to go west on U.S. 50. He said that VDOT also prefers directing truck traffic entering from Handy Lane to go around the perimeter of the facility and enter the diesel pump islands internally. Mr. Stidham asked if VDOT will require signage to be posted internally to direct traffic. Mr. Adhikusuma replied that the internal access design will force the truck traffic to use the desired route. Mr. Maynard and Vice-Chair Buckley expressed concerns about internal conflicts between passenger vehicles and trucks near the U.S. 50 exit. Mr. Adhikusuma replied that both directions will be at a stop condition to address safety. Mr. Glover said that he is concerned with large trucks traveling through the passenger vehicle parking areas where customers are walking back and forth, adding that you do not currently see large trucks in these areas very often. He asked what the reason was for not allowing a turn lane to enable direct access via the existing entrance on northbound U.S. 340. Mr. Adhikusuma replied that a turn lane could not be permitted by VDOT because it is too close to the existing intersection at U.S. 50. Vice-Chair Buckley asked why there is an existing cut even closer to the intersection to allow u-turns and access into the Lone Oak Restaurant. Mr. Adhikusuma replied that VDOT considers the access for the existing restaurant to be grandfathered. Vice-Chair Buckley said that while this circulation plan has its problems, it is an improvement over the plan that was originally submitted.

Ms. Caldwell asked Mr. Fincham what action will need to be taken by the Commission on Friday. Chair Ohrstrom asked whether Mr. Claytor is expecting to move forward with an approval or will be asking for another deferral. Mr. Fincham stated that the Commission's review timeframe is about to expire so the Commission will have to act to approve or deny the application. Chair Ohrstrom said that since it does not appear that all issues will be resolved by Friday, the Commission would have to conditionally approve the application subject to Staff resolving the remaining issues. He added that this may be something the members want to consider doing despite the Commission's concerns with conditional approvals. Mr. Fincham said that Staff's recommendation is dependent upon the County's engineering consultant's recommendation. He added that if the consultant has issues, he would strongly recommend to the applicant that they consider an additional deferral because Staff will have to recommend denial at this point. He said that he will recommend conditional approval if he believes that Staff can handle resolving all remaining issues.

## **NEW BUSINESS ITEMS**

### Policy & Technical Issues Final Report, Zoning and Subdivision Ordinance Update Project

Mr. Stidham provided a brief overview of the report. He indicated that it is a compilation of the work conducted by the Ordinances Committee and Staff on Step 2 of the project work plan to review the list of policy and technical issues and determine a direction on each to aid in developing the revised draft ordinances. Chair Ohrstrom said that this report will become a very important part of the record of this project. Mr. Stidham replied that it is frustrating to determine why a past staff, Commission, or Board of Supervisors took a particular action and this report will help explain why a particular path

was chosen on issues in the revised Ordinances. Ms. Caldwell asked Mr. Stidham to review the background of why the Committee chose not to address major controversial issues as part of the update project. Mr. Stidham recapped the Project Policies that were adopted by the Commission and Board at the beginning of the project and noted their inclusion in the report's executive summary. He also noted that major controversial issues were avoided in order to reduce the risk of the revised Ordinances not being adopted because of one or more of these issues. He added that some issues were set aside to be considered as text amendments after the update project is complete.

Ms. Bouffault said that she has issues with this report, noting that it was only provided to the Commission six days ago and is titled as a "final report." She added that the report should have said "final draft." Mr. Stidham said that this report is the deliverable from the Ordinances Committee and staff for Step #2 of the Update Project work plan. Ms. Bouffault asked whether this report will be presented to the Board of Supervisors next week and that the Commission has no say-so in it. Mr. Stidham replied that the Commission and Board are not being asked to accept or adopt the report, and that it is a summary of the activities that the Committee has been doing on this work plan step. He added that the report is being provided for advance reading purposes to prepare the Commission and Board for the anticipated future review of draft ordinances. He concluded by stating that is what we agreed to do with the original work plan. Ms. Bouffault replied that she does not care what was agreed to with the original work plan. She said that life is made of un-foreseeables, facts and times change and this report is 18 months old. She said that there needs to be flexibility in some of these issues and she is not saying that we need to change the whole thing. She said she is talking about issues that have occurred in the interim and are getting worse, and you cannot say we are not going to address those issues until later on. Chair Ohrstrom replied that it depends on whether the issues are zoning and subdivision ordinance related. Ms. Bouffault said that as a planning commissioner she is unhappy that we did not have a chance to go through this report or have some more detailed explanations of a document that is as thick as the ordinances. She said that we are supposed to rubber stamp this and she does not rubber stamp things. Mr. Stidham reiterated that the Commission is not being asked to adopt, accept, or rubber stamp the report and he added that he is confused as to what the problem is. Ms. Bouffault asked what happens if you have something that makes portions of this report obsolete or non-responsive to an existing condition, and whether you are supposed to do nothing. Mr. Stidham replied that the Commission and Board agreed not to consider interim text amendments to the current ordinances while the update project was in process but that exceptions were carved out to consider them in certain circumstances. He said that an economic development issue or unforeseen loophole in the current ordinances would warrant consideration of a text amendment. He noted that the antenna support structures text amendment is an example of a text amendment to the current Zoning Ordinance that was recently considered and adopted. He added that we still have several months of work to do to complete the drafts and if there is something that is of tremendous urgency, we could do an interim text amendment to the ordinances that are currently on the books. Ms. Bouffault said that you do not necessarily need a text amendment. She added that she does not want to get involved with the legal concepts but that we have some emerging phenomena that we need to pay attention to.

Mr. Kreider asked what the issue is. Ms. Bouffault replied that the issue is AirBNBs and it is a fact that is getting bigger every day. She added that she is discovering new ones and that our County is abysmal in following up on those that are already existing and have not particularly tried to hide. She

said that if we do not address the issue in a timely manner, they are going to come back to bite us on the nose. She cited Policy Issue P16 (Evaluate expansion of minor commercial assembly activities in AOC and FOC Districts) as an example of one that was not addressed by the Ordinances Committee and deferred for consideration after the update project is completed. Vice-Chair Buckley said that the reason the Committee chose to do that is because they did not want to change policy without involving the entire Commission and Board of Supervisors. He added that he had concerns with the requirements for less than 600 square foot cottages but the Committee decided that it was unfair to consider this policy issue without involving the Commission and Board. Ms. Bouffault asked why they are making policy decisions for everything else. Vice-Chair Buckley replied that they have worked to clean up everything else. Ms. Bouffault said that you are ignoring an emerging phenomenon and Vice-Chair Buckley replied that they are not ignoring the issue. Ms. Bouffault said that by waiting until after the update project is complete to consider the issue, you will be amending what was just adopted so why not address this immediately. Chair Ohrstrom said it would misdirect attention and take away from this project. He added that this project should be completed first and then consider the issue afterwards. Ms. Bouffault said that she is sure that the Committee has done an excellent job of cleaning up the ordinances and she is not beating up on the Committee for that. She said that AirBNB is currently in the middle of lawsuits with counties and states, and added that when you have an emerging phenomenon that did not exist 10 years ago you cannot wait to address it. Chair Ohrstrom said that he agrees with the way we are addressing the update project and noted that there will be issues to address after the revised ordinances are adopted. Ms. Bouffault said that she believes the issue is a lot easier to address in our current ordinances than you may think.

Mr. Stidham said that if this is an urgent issue and an easy fix, the Commission can consider an interim text amendment and be within the scope of the project policies just like we did with the antenna support structures amendment. He also said that Staff will not be handing out a set of rigid draft ordinances to the Commission and Board in the fall. He said that when the draft ordinances are presented jointly to the Commission and Board, it will provide an opportunity for members to raise concerns about the ordinances and address the issues before developing final drafts for public hearing, even if it means slowing down and taking steps back to fix the issues. He noted that we have ordinances in place now that can carry us forward as we work to refine the revised ordinances. He said that providing this report is about transparency and not presenting information at the last minute, but well in advance of reviewing the draft ordinances. He noted that this report will help to make commissioners and board members more comfortable with the issues as they prepare to review the drafts in the fall. Mr. Glover asked if the drafts move forward to public hearing and adverse comments are received from the public, could adoption of the ordinances be rejected over one issue. Mr. Stidham replied yes and Ms. Caldwell added that this is why the Committee chose to take out some of the potentially controversial issues that require a lot of thought and input. Mr. Stidham said that there are some issues that could not be avoided in order to improve functionality or to conform to current law but they wanted to avoid issues that could bring the entire project to a halt. He added that if there is an issue that has to be addressed urgently, it should be addressed in the context of the current ordinances.

Mr. Stidham reviewed the table of contents of the report and described several policy and technical issues that the commissioners may want to review in particular. Regarding Policy Issue P11, Mr. Maynard asked for confirmation that by moving the subdivision design principles to the guidance

manual, there would be no change in how they are applied because the principles are currently written using guidance language and the guidance manual is not regulatory. Mr. Stidham replied yes and noted that retaining them in the guidance manual informs surveyors of how we would like to see new lots be created. Ms. Bouffault asked if they are only a guideline and not a regulation, the principles do not have to be complied with anyway and Mr. Stidham replied correct and noted that they are currently written in the ordinance as a guideline. Mr. Maynard asked if a guidance manual currently exists and Mr. Stidham replied no and that it will be created as a parallel document to the new ordinances.

Regarding Policy Issue P26, Ms. Bouffault asked Vice-Chair Buckley about his concerns with less than 600 square foot accessory dwellings. Vice-Chair Buckley replied that the current ordinance only allows a maximum of one such dwelling per lot regardless of acreage. Mr. Stidham noted that the current rules for tenant houses allow one at 20 acres, a second at 80 acres, and additional tenant houses at 80 acre increments.

Mr. Stidham reminded the members that nothing is rigid at this point and to contact him if there are questions or concerns about the policy and technical issues.

## **OLD BUSINESS ITEMS**

### Zoning and Subdivision Ordinance Update Project Progress Report

Mr. Stidham stated that the County Attorney is currently reviewing the draft Zoning Ordinance and Definitions section. He said that he is currently working on the draft Subdivision Ordinance and hopes to have that to the County Attorney by early July and has requested the legal review to be completed by early August. He noted that the Committee would be reviewing the draft ordinances in August and early September, and that the joint workshops for the Commission and Board to review the drafts would occur in October and November. He said this would result in public hearing scheduled for the first part of 2020 into early spring.

Mr. Kruhm asked about a local winery using food trucks for food service. Mr. Stidham replied that wineries use food trucks to avoid having to house a commercial kitchen. Mr. Kreider said this helps them to avoid having to comply with restaurant regulations. Mr. Glover asked about an oversize open house sign that was up for a short period of time on the weekend. Mr. Stidham said that those signs usually go up and come down during the weekend when Staff is not working.

The meeting was adjourned by consensus at 4:11PM.

---

George L. Ohrstrom, II (Chair)

---

Brandon Stidham, Planning Director

# Clarke County

---



**PLANNING COMMISSION - DRAFT**  
**BUSINESS MEETING MINUTES**  
**FRIDAY, JUNE 7, 2019**

A Business Meeting of the Planning Commission of Clarke County, Virginia, was held at the Berryville/Clarke County Government Center, Berryville, Virginia, on Friday, June 7, 2019.

**Attendance**

**Present:** George L. Ohrstrom, II (Chair); Randy Buckley (Vice-Chair); Robina Bouffault; Anne Caldwell; Mary Daniel; Scott Kreider; Frank Lee; Gwendolyn Malone; and Pete Maynard.

**Absent:** Bob Glover and Doug Kruhm

**Staff Present:** Brandon Stidham, Planning Director; Ryan Fincham, Senior Planner/Zoning Administrator; and Debbie Bean, Recording Secretary.

**Called to Order**

Chair Ohrstrom called the meeting to order at 9:00 a.m.

**Approval of Agenda**

The Commission voted to approve the agenda.

**Yes:** Bouffault, Buckley, Caldwell, Daniel, Kreider (moved), Lee, Malone (seconded), Maynard and Ohrstrom

**No:** No one

**Absent:** Glover and Kruhm

**Approval of Minutes**

The Commission voted to approve the Planning Commission Work Session Meeting minutes of April 30, 2019.

**Yes:** Bouffault, Buckley, Caldwell (moved), Daniel, Kreider, Lee (seconded), Malone, Maynard and Ohrstrom

**No:** No one

**Absent:** Glover and Kruhm

Chair Ohrstrom said he has a correction to the minutes of the May 3, 2019 Planning Commission meeting under the section Board/Committee Reports. He said that under the Conservation Easement Authority (CEA) report for May it should read that the Conservation Easement Authority (CEA) closed on the Opequon Cattle Company Easement which is funded by the Agriculture Land Easement (ALE) program.

The Commission voted to approve the minutes of May 3, 2019 with the requested correction.

**Yes:** Bouffault, Buckley, Caldwell, Daniel, Kreider (seconded), Lee (moved), Malone, Maynard and Ohrstrom

**No:** No one

**Absent:** Glover and Kruhm

### **Site Plan Review/Continued Public Hearing**

**SP-18-02, Robert Claytor.** Request approval of a Site Plan Amendment to add a canopy and diesel pumps to the property identified as Tax Map #28-A-20G located at 8153 John Mosby Highway in the White Post Election District, zoned Highway Commercial (CH) and Historic Access Corridor Overlay District (HC).

Mr. Fincham stated that the Applicant has deferred this request each month since their first deferral on November 1, 2018. He said that Robert Claytor is requesting to add a canopy and diesel pumps to an existing lot. He said that the lot will be merged and boundary line adjusted with the adjoining lot preceding the approval of the Site Plan Amendment. He stated that the property is zoned Highway Commercial (CH) and Historic Access Corridor Overlay District (HC). He said that the Applicant was working on outstanding issues with the Virginia Department of Transportation (VDOT), Department of Environmental Quality (DEQ), Clarke County Sanitary Authority (CCSA), and on the Erosion and Sediment Control Plan. He stated that the Applicant has resolved the issues but is still awaiting some agency approval letters. He said that the Applicant is seeking a conditional approval from the Planning Commission today. He stated that Staff will not sign or obtain other signatures on the final site plan until the approvals are received. He said that the engineer and the agent for the Applicant were supposed to attend the meeting today but have not shown up yet. He asked the Commission to look at the plan and it shows the original proposal with all of the stormwater going eastward to a VDOT stormwater pond that is by the park and ride. He said that has changed and DEQ, the Applicant and VDOT all worked together to put a new stormwater feature in to handle everything on site. He stated that according to Mark Cline with Hurt & Proffitt, he and the Applicant like this a lot better than the original plan. He said that they will use some of the basins for erosion and sediment control and that they will then be converted into stormwater features once the construction is finished. He stated that at the Work Session meeting we had the full approval from VDOT and full approval from DEQ except for the paperwork which Mr. Settle at DEQ should send to Staff within a week. He said that Hurt & Proffitt called Staff on Tuesday of this week concerned that the plan had completely changed. He stated that Hurt and Proffitt asked Staff if they should focus on erosion and sediment control first and then see how that affects the stormwater and the VDOT issues. He told Hurt & Proffitt that is exactly what they should do. He said currently Staff is awaiting for final approval letters from DEQ and Hurt and Proffitt. He stated that the CCSA does not meet until July 18, 2019. He stated that Staff feels that all the issues have been resolved and recommends approval of this request on condition that prior to final signature of the site plan all review agency approvals are received by Staff and that the boundary line adjustment and lot consolidation plat is properly recorded.

Chair Ohrstrom stated that he is okay with approving this request as long as Mr. Fincham follows up and receives all the documentation. After discussion with Staff and the Commission, Chair Ohrstrom asked for public comments. There being no public comments Chair Ohrstrom called for a motion.

The Commission voted to approve this request on condition that prior to final signature of the site plan all review agency approvals are received by Staff and the boundary line adjustment and lot consolidation plat is properly recorded.

**Yes:** Bouffault (moved), Buckley, Caldwell, Daniel, Kreider, Lee, Malone (seconded), Maynard and Ohrstrom

**No:** No one

**Absent:** Glover and Kruhm

### **Board/Committee Reports**

#### **Board of Supervisors (Mary Daniel)**

Commissioner Daniel stated that at the last meeting of the Board of Supervisors (BOS) the local middle school students attended the meeting. She said the students spoke to the BOS about issues in the County telling them what they think is good and bad. She stated that after their talk they were pleased to hear about the Comprehensive Plan which addresses almost all of the issues they spoke about. She said that she introduced the students to Alison Teeter, the Natural Resources Planner for Clarke County. She said hopefully they realize that the BOS is taking all of their concerns seriously. She said that the BOS did the resolution for Tripp Hardesty which was very nice. She stated that the BOS accepted a donation for the dog park for picnic tables. She said that the BOS approved the six year VDOT plan which is in the public records if anyone would like to see it. She stated that this will move up the paving of Janeville road. She said she thinks it goes out to bid in the next fiscal year instead of two to three years. She said that the BOS requested a study from VDOT on thru truck restrictions. She stated the BOS has designated Route 601 as a thru truck restricted road. She said the big item the BOS is working on is finding a new County Administrator and they are hoping the new person can work the entire month of December while Mr. Ash is still working.

#### **Board of Septic & Well Appeals (George Ohrstrom, II)**

No Report

#### **Board of Zoning Appeals (Anne Caldwell)**

No Report

#### **Historic Preservation Commission (Doug Kruhm)**

No Report

#### **Conservation Easement Authority (George Ohrstrom, II)**

Chair Ohrstrom stated that the Conservation Easement Authority (CEA) is having a dinner at Camino Real on June 13<sup>th</sup> to talk with local area residents about easements and everyone is invited to attend.

#### **Broadband Implementation Committee (Mary Daniel)**

Commissioner Daniel stated that the Broadband Committee met with the Rappahannock Electric Cooperative (REC) representatives. She said that we discussed the provision of internet across electrical lines. She stated that BOS member Bev McKay asked the representatives why they are not giving Clarke County the information they need and why they are not answering the questions that are asked. She said that the representatives said they are not fundamentally opposed to the idea for Clarke County to get fiber but they do not believe they have the infrastructure at this time. She stated they are

replacing lines that are in bad shape and as they do they are leaving extra room and capacity on the lines so that the long term goal could be a possibility.

Commissioner Bouffault said that she followed up with REC in writing to ascertain a couple of things because Len Capelli had asked the question about whether or not they are going to be able to utilize a federal grant as Dominion and Appalachian Power Companies have been approved by the recent legislature. She said that they could not because as an electrical co-op they were not able to get any additional funding for this to help defray what is an obligatory update of their whole system. She said that their system is currently a system of microwaves which is obsolete and this is going to be replaced by fiber. She stated that all the electrical companies have to do this by law and that is why they are doing this. She said they were very reluctant to say they do not have the towers in Clarke County and so there will be no infrastructure or power stations in Clarke County. She said that they will not be implementing anything within Clarke County. She stated that Clarke County will not be benefitting from any of the new fiber they are putting up. She said that she also contacted Shentel. She told them that the FBI Center is going up at the end of Route 723 and Shentel has all of its materials going up on Route 340 so why not go all the way down Route 723 and that would give Clarke County some opportunities to look at WISPS and get some off shoots from that. She said the person in charge just returned from vacation and he told her that Shentel will be looking into this and would let her know. She told him that Shentel has brand new poles up that were done by REC. She told him that she knows that REC is already carrying your fiber and it is obvious that there is something that Shentel could do. She said she is waiting to hear back from Shentel and will keep everyone up to date. She stated that she is not optimistic about hearing from them but she wants them to know that we do exist. She said she has given Shentel a list of the commercial Waterloo folks with addresses and names for them to contact to see if they would be interested in getting fiber in their businesses. She said that Shentel did tell her that they sent out a mass mailing in Clarke County to all of the affected properties along Route 340, and parts of Route 522, Route 50 and Route 7 to advise them of the availability of fiber for businesses.

Mr. Stidham stated that he talked with the REC representative this week and encouraged him to contact us about organizing a meeting of all the WISPS in Clarke County. He said that there is around 7 or 8 WISPS serving the County. He stated that we have gotten them together once before and if you tell them that something is coming they will all show up because none of them want to miss out. He said that they also have to be prepared to show up and explain to them very specifically how you can serve them not just that you have excess fiber capacity that they can pay an exorbitant rent to access. He stated that he asked the representative if they have looked into innovative ways to let the WISPS integrate with the lines because they obviously do not want the companies climbing up and down their power poles. He asked if there would be a problem hanging the antennas in the lower portion of the pole which they refer to as the communication space, the bottom part is where the fiber runs and the top part is where the electricity runs. He asked if they would have a problem hanging the antennas to reach homes or if they would have any problems if a homeowner wanted to build an antenna support structure and have a line running through their back yard could they connect the fiber directly to that and be served by WISPS that could also serve the general vicinity. He advised them that the best thing to do is get these types of answers and if you have something to share with the WISPS call us back and we will try to get them altogether and you can make your presentation and see what they can do.

Commissioner Daniel stated that she wants to thank Mr. Stidham and Commissioner Bouffault for all the extra time they have put in this matter above and beyond the committee meetings. She stated that Board member Bev McKay wants me to mention that REC is doing something and we own them. She said he would like everyone to talk to your REC Board of Directors and tell them about the need that we have and how they could serve Clarke County better.

Chair Ohrstrom said that sometime this summer all of the REC customers will be receiving a proxy vote for the Board of Directors. He said that normally the way REC and most electrical co-ops operate is the Board of Directors were chosen before by the Board of Directors that have been there for 30 years. He said that the regular people that have a proxy vote basically get a class B vote whereas the Board has Class A votes. He said it was quite difficult to change the Board of Directors. He said that now we have 3 people running for the Board of Directors and he would urge all of the Commission to look into their proxy votes when they receive them in the mail and then vote for whoever you want to. He said that most people just throw them in the trash and we end up with the same Board of Directors.

**Other Business**

None

**Adjourn**

On motion by Commissioner Daniel and seconded by Commissioner Malone the meeting was adjourned at 9:20 a.m.

---

George L. Ohrstrom, II, Chair

---

Debbie Bean, Recording Secretary

**SPECIAL USE PERMIT / SITE PLAN (SUP-19-01/SP-19-01)**

**Crown Castle**

**July 12, 2019 Planning Commission Meeting – SET PUBLIC HEARING**

**STAFF REPORT– Department of Planning**

-----  
The purpose of this staff report is to provide information to the Planning Commission and Board of Supervisors to assist them in reviewing this proposed land use request. It may be useful to members of the general public interested in this request.  
-----

**Case Summary**

**Applicant:**

Crown Castle (Lease Owner)

**Property Owner:**

Edward Vankeuren

**Location:**

- Near 653 Mount Carmel Road
- Tax Map #39-A-74
- Millwood Election District (Anne Caldwell and Bob Glover); Terri Catlett (Board of Supervisors)

**Parcel Size/Project Area:** 84.55 acres / 45’ by 55’ compound area for special use

**Request:**

Request approval of a Special Use Permit (SUP) and Site Plan to construct a new 185-foot Class 4 Wireless Communication Facility (WCF) that would replace an existing 84-foot monopole per §3-A-2-a-3-r of the Zoning Ordinance. The property is located on the west side of Mt. Carmel Road (Rt. 606) approximately 450 feet from its intersection with U.S. 50/17 (John Mosby Highway), Tax Map #39-A-74, is 84.55 acres in size, and is zoned Forestal-Open Space-Conservation (FOC).

**Staff Recommendation:**

Schedule Public Hearing for the Planning Commission’s September 6, 2019 Meeting.

**Facts:**

The Applicant is requesting approval to construct a 185’ monopole - Class 4 Wireless Communication Facility (WCF) on a portion of the subject property. Crown Castle obtained the “ground lease” for the portion of the subject property containing the easement and compound area on April 6, 2018, in which the property owner grants the lease owner the ability to construct towers, install equipment, etc. through a Wireless Communication Easement and Assignment Agreement. Detailed information on the proposed use, property characteristics, and review elements are outlined below.

Subject Property

The Applicant has proposed constructing a new 185-foot Class 4 Wireless Communication Facility (WCF) that would replace an existing 84-foot monopole within an existing 45’ by 55’ fenced-in compound that was approved in 2003 via SUP-03-02. The property is located on the west side of Mt. Carmel Road (Rt. 606) approximately 450 feet from its intersection with U.S. 50/17 (John Mosby Highway). The majority of the subject property is currently used as forestal open space and residential.

Proposed Facility/Operations

The Applicant has provided a complete application and site plan from their engineer Christopher Morin (BC architects / engineers) that includes various aspects of the subject property and proposal. Also provided is the proposed use narrative which addresses WCF specific requirements found in Clarke County Zoning Ordinance §3-A-2-u and 6-H-12. There is an existing Verizon owned 99’ tree-style monopole on the other side of Mount Carmel Road approximately 1,000 feet southeast from this proposed site. According to the Applicant’s narrative, this site is “not a feasible alternative.”

The proposed facility is designed to accommodate AT&T antennas at a centerline height of 181’ and T-Mobile antennas at a centerline height of 171’. The facility will be accessed via the existing entrance shown on the site plan. The proposed parking area will be the gravel access easement which serves only the compound. There are no water supplies or sewage disposal systems existing or proposed. Proposed lighting, landscaping, and signage (if any) will be reviewed per Ordinance requirements.

Site Plan

The Applicant has submitted a WCF Site Development Plan containing all of the required elements to constitute a complete application per Chapter 6 of the Zoning Ordinance. A Planning Commission Plans Review Committee meeting may be scheduled once further information is obtained through the review process. The site plan has been routed to the following agencies for review and comment:

- Virginia Department of Transportation (Bobby Boyce)
- George Condyles (County Telecom Engineering Consultant)
- Building Department (Jamie Royston)
- Clarke County Emergency Management (Brian Lichty)

The following setback and buffering requirements apply to the project and are depicted on the site plan:

- Distance equal to the WCF Fall Zone: 92 feet
- Centerline of a secondary road (Mount Carmel Rd): 100 feet
- Edge of primary highway (Rt. 50): 125 feet
- Side and rear yard setbacks: 75 feet
- From sinkholes, streams, and springs: 100 feet
- From intermittent streams: 50 feet

Setback Variance Required

The site plan and accompanying documentation shows a 92' fall zone for the proposed monopole. The property line for an adjacent "island lot" identified as Tax Map Parcel 39-A-73 (cemetery lot) is 61.5' from the proposed monopole base. Therefore, a variance from the Board of Zoning Appeals of 30.5' is required for compliance with setback requirements. In 2003, the existing 84' stealth flagpole also required a variance to be located less than 100' (required setback at that time) from the cemetery lot. The BZA granted Omnipoint Communications a variance of 30' for that monopole location via BZA-03-01. The Applicant has not applied to the BZA for a variance as of the drafting of this report. The variance can be applied for and be processed concurrently with the SUP request, or if the Applicant chooses to wait until after or near the end of the SUP process, then the requirement for the needed variance can be included as a SUP Condition. Approval of the site plan would have to be conditioned upon variance approval.

Telecommunications Consultant

The site plan and accompanying documents were forwarded to George Condyles for review. A detailed response from Mr. Condyles was received by Staff on June 28, 2019 and immediately forwarded to the Applicant.

Access and Traffic

The Applicant proposes to use the existing entrance as shown on the plan for the facility entrance. A copy of the site plan was routed to VDOT for review and comment on the use of the existing entrance. VDOT provided preliminary comments on June 20, 2019 noting that the existing entrance had not been properly permitted by VDOT in 2003. This information was immediately forwarded to the Applicant.

Erosion & Sediment Control (E&S) / Stormwater

Not required as land disturbance will be minimal.

Water Supply and Waste Water Disposal

Not required.

Karst Plan

Not required.

Lighting and Signage

All proposed lighting and signage (if any) will be reviewed for Ordinance requirements.

Parking

§4-J of the Zoning Ordinance (Off-Street Parking) does not include a required parking calculation for the proposed use. A proposed gravel access area with pull off area for service vehicles is shown on the site plan.

Landscaping

Buffer areas per §6-H-12-a-5 requires a 50' perimeter buffer around the compound for tree retention and a 25' buffer with supplemental evergreen plantings. The site plan shows the required areas and will be reviewed for compliance.

Building Department

No comment to date.

Emergency Management

Brian Lichty, Director of Emergency Management, reviewed the plan and offered recommendations (comments attached).

**Staff Analysis – Special Use Permit Review Criteria (§5-B-5)**

Evaluation of the special use permit request includes an analysis of 19 criteria listed below as set forth in §5-B-5 of the Zoning Ordinance. Upon completion of our review and receipt of comments from all reviewing agencies and the County’s engineering consultants, Staff will provide an analysis of the proposed facility’s compliance with these criteria. WCF requests have additional requirements found in §3-A-2-u and 6-H-12, which Staff will also address.

- a. *Will be consistent with the Comprehensive Plan of the County.*
- b. *Is consistent with Purpose and Intent of the Zoning Ordinance.*
- c. *Will not have an undue adverse impact on the short-term and long-term fiscal resources of the County for education, water, sewage, fire, police, rescue, solid waste disposal or other services, and will be consistent with the capital improvement goals and objectives of the Comprehensive Plan, to the end that growth of the community will be consonant with the efficient and economic use of public funds.*
- d. *Will not cause an undue adverse effect on neighboring property values without furthering the goals of the Comprehensive Plan to the benefit of the County.*
- e. *Will not cause an undue adverse effect on the preservation of agricultural or forestal land.*
- f. *Will not cause unreasonable traffic congestion or unsafe conditions on existing or proposed public roads and has adequate road access.*
- g. *Will not cause destruction of or encroachment upon historic or archeological sites, particularly properties under historic easement.*
- h. *Will not cause an undue adverse effect on rare or irreplaceable natural areas, areas of outstanding natural beauty, state-designated scenic byways or scenic rivers or properties under open space easement.*
- i. *Will not cause an undue adverse effect on wildlife and plant habitats.*
- j. *Will have sufficient water available for its foreseeable needs.*
- k. *Will not cause unreasonable depletion of or other undue adverse effect on the water water source(s) serving existing development(s) in adjacent areas.*
- l. *Will not cause undue surface or subsurface water pollution.*
- m. *Will not cause an undue adverse effect on existing or proposed septic systems in adjacent areas.*
- n. *Will not cause unreasonable soil erosion.*
- o. *Will have adequate facilities to provide safety from flooding, both with respect to proposed structures and to downhill/downstream properties.*
- p. *Will not cause undue air pollution.*
- q. *Will not cause undue noise, light or glare, dust, odor, fumes, or vibration.*
- r. *If in the AOC or FOC zoning districts, will not result in scale or intensity of land uses significantly greater than that allowed under the permitted uses for these districts.*
- s. *Will not cause a detrimental visual impact.*

**Staff Analysis of Key Issues**

Staff will provide an analysis and recommendations on any key issues associated with this request following completion of our review and receipt of all comments from reviewing agencies and consultants. Staff will also provide draft special use permit conditions.

**Staff Recommendation:**

Staff recommends that the Commission schedule Public Hearing on this application for the September 6, 2019 meeting. All documentation has been provided by the Applicant to constitute a complete special use permit and site plan application and there are no outstanding concerns regarding the proposed use to warrant a delay at this time in scheduling the Public Hearing.

-----

**History:**

- |                               |  |
|-------------------------------|--|
| <b>January &amp; May 2019</b> | <b>Pre-Application meeting held with Planning Staff.</b>   |
| <b>May 2019</b>               | <b>Special Use Permit and Site Plan Applications filed by the applicant determined to be incomplete per Ordinance.</b> |
| <b>June 7, 2019</b>           | <b>Complete Special Use Permit and Site Plan Applications filed by the applicant.</b>                                  |
| <b>July 12, 2019</b>          | <b>Placed on the Commission’s meeting agenda to Set Public Hearing for the September 6, 2019 Commission meeting.</b>   |

**Crown Castle – Special Use Permit  
653 Mount Carmel Road  
Statement of Justification**

**Proposed Replacement Telecommunications Facility**

The Applicant, Crown Castle (“Crown”) is seeking a special use permit (“SUP”) to replace the existing 82’9” stealth flagpole with a 185’ monopole within the ancillary 55’ x 45’ equipment compound. AT&T will locate its antennas at a centerline of 181’ and T-Mobile will install at a centerline of 171’. No changes to the existing compound are proposed.

The property is located at 653 Mount Carmel Road in Paris, Virginia 20130 (Parcel Identification No. 39-A-74). The parcel is zoned FOC – Forest Conservation and is 85.26 acres. Crown is proposing the replacement monopole as there are no other suitable structures of sufficient height in the vicinity. The closest tower is owned by SBA, is 2.82 miles away and 125’. The estimated cost of removal of the structure is \$50,000-\$75,000. The site is closest to PCTDA 5 – All of the surrounding PCTDAs are indicated on Sheet A-oE of the plans submitted with this application.

There is an existing Verizon Wireless structure that is located approximately 1000’ from the proposed replacement tower. This site is not a feasible alternative to the proposed replacement site as T-Mobile and AT&T have lease agreements in place with Crown and not with Verizon Wireless. Moreover, the Verizon Wireless structure is significantly shorter (and the available centerlines are even lower) rendering the signal propagation at this location ineffective. In this instance, there are two existing structures now, and two existing structures will remain.

**Compliance with § 3-C-2-u of the Wireless Communications Facility Zoning Regulations**

2d. Class 4. WCFs with a height not to exceed one hundred and ninety-nine (199) feet above ground level (AGL). Such facilities shall be limited to a monopole design as the support structure.

Crown is proposing a 185’ monopole.

3. General Use Standards.
  - a. All WCFs must meet current standards and regulations of the Federal Aviation Administration (FAA), FCC, and any other agency of the county, state, or federal government with the authority to regulate WCFs. If regulations change and WCFs are required to comply with such changes, the owners of the WCFs governed by this ordinance shall bring WCFs into compliance within six (6) months of the effective date of such change in standards or regulations. Failure to comply shall constitute grounds for the removal of the WCFs at the owner’s expense.

FAA approval is provided with this SUP application.

- b. WCFs shall be considered either a principal or accessory use. The existing and proposed telecommunications facilities are the principal use on the parcel.

5. Special Uses.

- a. The uses listed in this subsection require issuance of a Special Use Permit including review and approval of a site development plan demonstrating compliance with this section, §6-H-12, and other applicable sections of the Zoning Ordinance:

- (1) Class 3 & 4 WCFs.
- (2) Any Class 3 or Class 4 WCF which is being rebuilt on the same parcel to accommodate the co-location of an additional WCF. The rebuilt WCF shall meet all requirements of this section and §6-H-12. There shall only be one (1) WCF per Special Use Permit in the designated compound area.

Crown proposes to replace the existing stealth flagpole with a Class 4 WCF – a 185' monopole.

- b. In granting a Special Use Permit, the Planning Commission may recommend and the Board of Supervisors may impose conditions to the extent that the Board concludes such conditions are necessary to minimize any adverse effect of the proposed WCF on adjoining properties. Crown understands and will comply.

- 7. Compliance with Federal and State regulations required. Compliance with all Federal Aviation Administration and Federal Communication Commission requirements, including review by the Virginia Department of Historic Resources of properties eligible for listing and listed on the National Register of Historic Places in accord with Section 106 procedures, shall be demonstrated in writing if required by statute.

FAA, NEPA and SHPO reports are all included with this SUP application. NEPA/ SHPO are currently in process and will be filed when available.

**Compliance with § 6-H-12 Design Standards for Wireless Communication Facilities**

6-H-12-a. Design Standards

- 1. All WCFs shall be a monopole or stealth design.

Crown is proposing a 185' monopole.

2. Prohibition on lighted WCF. A WCF shall not trigger a requirement, public or private, that it be lighted nor shall it be lighted on a voluntary basis.

The 185' monopole is not required to be lit and no lighting is proposed.

3. Height requirements.
  - d. The maximum height of a Class 4 WCF shall be one hundred and ninety-nine (199) feet including any attachments.

Crown is proposing a 185' monopole.

- e. Determination of height shall include any attachments to the WCF. Lightning rods shall be exempt from the maximum height calculation.

The overall height of the monopole with the proposed 4' lightning rod will be 189'9" – still under the 199' limit in § 6-H-12(3)(d).

4. Aesthetic requirements. WCFs shall meet the following aesthetic requirements:
  - a. The visual impact of a WCF shall blend with the natural and built environment of the surrounding area using mitigation measures such as: architecture, color, innovative design, landscaping, setbacks greater than the minimum required, materials, siting, topography, and visual screening. The number of existing readily apparent Class 2, 3, and 4 WCFs in an area shall also be considered when determining visual impact of a new WCF. Class 3 or 4 WCFs shall not exceed the maximum height of the tree canopy on the topographic crest of the Blue Ridge Mountains.

Administrative Review of the site development plan, including third-party engineering review, will determine if stealth technology shall be used and what type of stealth technology is required if the WCF design and placement is determined not to meet the objective stated within this Ordinance.

Crown is proposing the minimum height needed for effective signal propagation for both AT&T and T-Mobile. The area is densely wooded and is not located along the crest of the Blue Ridge Mountains. There are no surrounding sites or structures tall enough on which to collocate.

- b. The design of buildings and related structures within the WCF compound area shall, to the extent possible, use materials and colors that will blend into the natural setting and surrounding trees. Security fencing shall be six (6) feet tall, and dark green or black in color made of chain link.

The existing chain link fence approved for the existing flagpole will not be changed.

- c. If various antennas, cables and electronics are installed on a structure other than another WCF (i.e., water tower, light pole, rooftop, sign or silo), the antenna and supporting electrical and mechanical equipment must be of a neutral color that is identical to, or closely compatible with, the color of the supporting structure so as to make the antenna and related equipment as visually unobtrusive as possible.

Crown will comply.

- d. Stealth Technology. Stealth technology may be used on WCFs as set forth below. Because of the agrarian nature and beauty of the County, the silo structure will be the highest valued stealth technology. This technology of silo stealth structures should blend harmoniously with the existing farm structures.

n/a

## 5. Setbacks and Buffering

- a. Setback requirements from property lines and structures.

Class, 1, 2, 3, and 4 WCFs shall be set back from all property lines and structures a distance equivalent to the WCF's fall zone, or the WCF's fall zone and required perimeter buffer area, whichever distance is greater. The WCF's designed fall zone shall be described in the applicant's site development plan. For parcels located adjacent to the Appalachian National Scenic Trail Corridor, WCFs shall be set back a minimum of 400 feet from the footprint of the Appalachian Trail.

Setbacks are depicted on Sheet A-oB of the zoning drawings dated 4/23/19 and included with this application.

- b. Setback requirements for buildings and support equipment.  
For any building or structure associated with a WCF and inclusive of required perimeter buffer areas per subsection (d), the minimum setback from any property line abutting a public road or shared private access easement right of way shall be fifty (50) feet and in all other instances shall be no less than twenty-five (25) feet. No setback shall be required for private access easements or portions thereof designed exclusively to provide ingress and egress from the WCF compound to a public road.

The proposed monopole complies with this section.

- c. Method for measuring setback distances.

Setbacks shall be measured from the closest structural member on the WCF. Guy lines shall be exempt from the minimum setback requirements in side and rear yards for the respective zoning district but shall comply with the front yard setback requirements.

d. Perimeter buffer.

Class 3 and 4 WCFs shall be located in a wooded area of dense tree cover referred to as the perimeter buffer. The perimeter buffer shall have a minimum depth of 50 feet from the compound fencing as a radius around the perimeter of the area to be cleared for the WCF. All trees within the perimeter buffer for the Class 3 or 4 WCF must be retained, unless specifically approved for removal on the site development plan. Within 25 feet of the compound fencing, the perimeter buffer shall be supplemented with evergreen trees planted in a double-staggered row and shrubs as necessary to effectively screen the compound and WCF structure base from view. The Planning Commission may request additional planting within the remaining 25 feet of the perimeter buffer on a case-by case basis to ensure effective and appropriate screening. All vegetation within the perimeter buffer shall be maintained throughout the lifespan of the WCF.

A landscape plan showing the perimeter buffer is provided on Sheet L-1 of the attached zoning drawings.

6. Other Design Requirements

a. Compound design requirements.

The area to be cleared for the compound containing a Class 1, 2, 3 or 4 WCF and support facilities shall be the minimum necessary to accommodate the facilities and shall not exceed 2,500 square feet. The driveways accessing the compound shall be gated.

The existing compound will not be expanded and is gated.

b. Design requirements for buildings and support equipment.

- (1) Equipment cabinets shall not be more than twelve (12) feet in height. Structures designed to house equipment shall not exceed the maximum building height for the zoning district in which the subject property is located.
- (2) If the equipment cabinet or structure is located on the roof of a building, the area of the equipment structure and related equipment shall not occupy more than 25% of the roof area. The equipment cabinet or structure and related equipment

shall also be completely screened from view on all sides of the building.

- (3) Equipment cabinets or structures shall comply with all applicable building codes.

The ancillary support equipment located within the gated equipment compound is smaller than the 55' x 45' lease area and none of the cabinets exceed the height limitation contained herein.

- c. Advertisement signs are prohibited. Signs compliant to FCC requirements containing ownership, operational, and name plate data shall be allowed.

Crown will comply.

- d. All WCFs shall have appropriate FCC signage and contact information for emergency communications.

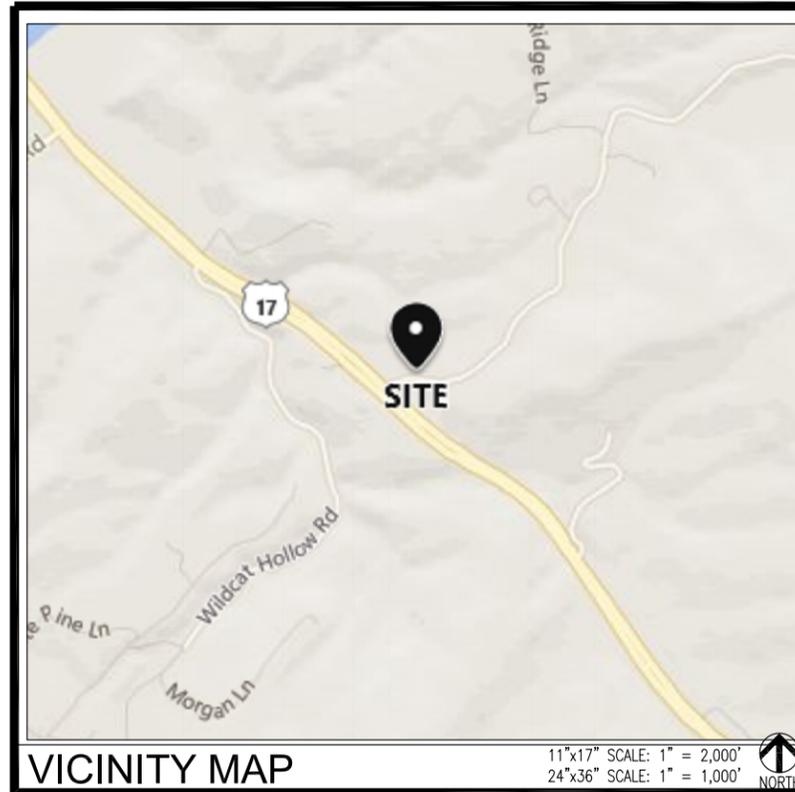
Crown will comply.



**SITE NAME: VANKEUREN - PARIS**  
**SITE ID: 828704**

**ADDRESS: 653 MOUNT CARMEL RD.**  
**PARIS, VA 20130**

1. DEPART ARBORETUM PKWY TOWARD N ARCH RD 0.3 MI.
2. TURN RIGHT ONTO N ARCH RD 0.2 MI.
3. TURN RIGHT ONTO US-60 E/MIDLOTHIAN TPKE EXXON ON THE CORNER 0.5 MI.
4. TAKE RAMP RIGHT AND FOLLOW SIGNS FOR VA-76-TOLL NORTH •TOLL ROAD 5.6 MI.
5. KEEP LEFT TO STAY ON VA-76 N/BELTLINE EXPY 0.9 MI.
6. KEEP STRAIGHT ONTO I-195 N 2.2 MI.
7. TAKE RAMP RIGHT FOR I-95 NORTH TOWARD WASHINGTON 54.2 MI.
8. AT EXIT 133, TAKE RAMP RIGHT AND FOLLOW SIGNS FOR US-17 NORTH PASS ROYAL FARMS ON THE LEFT IN 3.9 MI. 27.7 MI.
9. KEEP RIGHT TOWARD US-29 N/US-15 N/US-17 N/JAMES MADISON HWY 0.1 MI.
10. BEAR RIGHT ONTO US-29 N/US-15 N/US-17 N/JAMES MADISON HWY SUNOCO ON THE CORNER 7.0 MI.
11. TAKE RAMP RIGHT FOR US-17 NORTH TOWARD HOSPITAL/WARRENTON/WINCHESTER 2.1 MI. 12. TAKE RAMP FOR US-17 N/JAMES MADISON HWY 9.5 MI.
12. BEAR LEFT ONTO ROAD 0.1 MI.
13. TAKE RAMP LEFT FOR I-66 W/US-17 N 4.8 MI.
14. AT EXIT 23, TAKE RAMP RIGHT FOR US-17 NORTH/VA-55 WEST TOWARD DELAPLANE/PARIS 0.3 MI.
15. KEEP STRAIGHT ONTO US-17/VA-55 7.8 MI.
16. TURN LEFT ONTO US-17 N/US-50 W/JOHN S MOSBY HWY 2.8 MI.
17. TURN RIGHT ONTO MT CARMEL RD 354 FT
18. TAKE FIRST LEFT DOWN GRAVEL ROAD.



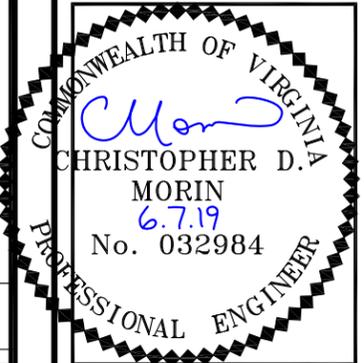
**SITE INFORMATION**

PARCEL IDENTIFICATION: 39 A 74  
 PARCEL ADDRESS: 653 MOUNT CARMEL RD. PARIS, VA 20130  
 PROPERTY OWNER: VANKEUREN, EDWARD BRUCE  
 DEED REFERENCE: 486/113  
 JURISDICTION: CLARKE COUNTY  
 ZONING CLASSIFICATION: FOREST/OS/CONSERV (FOC)  
 PARCEL SIZE: 85.26 AC  
 TOWER HEIGHT & TYPE: 185' MONOPOLE  
 GEOGRAPHIC COORDINATES:  
 LATITUDE: 39° 1' 53.1984" (NAD 83)  
 LONGITUDE: -77° 58' 57.6012" (NAD 83)  
 1A GROUND ELEVATION: 654' AMSL (NAVD 88)  
 CODES: VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC 2012), NEC 2011

EMERGENCY INFO:  
 JURISDICTION: CLARKE COUNTY  
 LOCAL FIRE & RESCUE: (540) 955-1110  
 LOCAL POLICE: (540) 955-5152  
 BUILDING OFFICIAL CONTACT:  
 NAME: JAMIE ROYSTON  
 ADDRESS: 101 CHALMERS CT #B BERRYVILLE, VA 22611  
 PHONE NO.: (540) 955-5112

**DRAWING INDEX**

SHEET NUMBER	DESCRIPTION
T-1	TITLE SHEET
4 SHEETS	SITE SURVEY
A-0	EXISTING SITE PLAN
A-0A	EXISTING SITE PLAN - SETBACKS
A-0B	EXISTING SITE PLAN - DISTANCES
A-0C	EXISTING SITE PLAN - EXISTING TREE COVERAGE
A-0D	EXISTING SITE PLAN - STRUCTURES W/IN 2,000 FT.
A-0E	EXISTING SITE PLAN - PCTDA PLAN
A-1A	COMPOUND PLAN - EXISTING
A-1B	COMPOUND PLAN - PROPOSED
A-2A	TOWER ELEVATION (EXISTING)
A-2B	TOWER ELEVATION (PROPOSED)
A-3	PROPOSED T-MOBILE ANTENNA MOUNT DETAILS
A-4	PROPOSED T-MOBILE ANTENNA MOUNT DETAILS
A-5	PROPOSED AT&T ANTENNA MOUNT DETAILS
A-6	PROPOSED AT&T ANTENNA MOUNT DETAILS
L-1	LANDSCAPING PLAN
SP-1	GENERAL NOTES



NO.	DATE	DESCRIPTION	BY	AGT	ACT	AGT	ACT	AGT	ACT
1	03-01-19	PRELIMINARY ZONING DRAWINGS							
2	03-05-19	FINAL ZONING DRAWINGS							
3	04-23-19	ADDITIONS TO ZONING DRAWINGS							
4	05-29-19	95' TOWER SETBACK							
5	06-07-19	92' TOWER FALL ZONE							

DRAWN BY: **AGT**  
 CHECKED BY: **BMQ**  
 DRAWING DATE: **06-07-19**

CARRIER'S NAME

SITE NUMBER:  
 SITE NAME:

SITE NAME

**VANKEUREN - PARIS**

BUSINESS UNIT NUMBER

**828704**

SITE ADDRESS

**653 MOUNT CARMEL RD.**  
**PARIS, VA 20130**

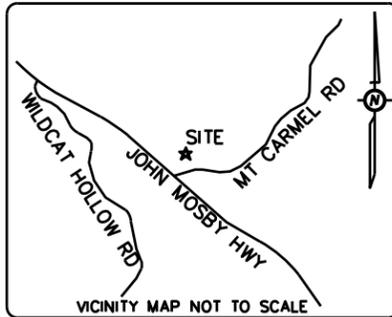
SHEET TITLE

**TITLE SHEET**

SHEET NUMBER

**SITE DIRECTIONS**

PROJECT INFORMATION	SITE MANAGER	CONSTRUCTION MANAGER	ZONING MANAGER	RF ENGINEER	PROJECT MANAGER
ZONING DRAWINGS TO REPLACE AN EXISTING 82-9" STEALTH POLE WITH A 185' MONOPOLE	NAME: _____ DATE: _____				



NOTE: TOWER EASEMENT & ACCESS/UTILITY EASEMENT ARE SURROUNDED ON ALL SIDES BY TREES.

**PARENT PARCEL INFORMATION:**  
 OWNER: EDWARD BRUCE VAN KEUREN  
 130 MOUNT CARMEL ROAD, PARIS, VA  
 TAX ID 39-A-74  
 DEED BOOK 41, PAGE 558, &  
 DEED BOOK 61 PAGE 447

**FAA 1-A INFORMATION: (PROPOSED TOWER)**

LATITUDE: 39° 01' 53.38" N. +/- 20'  
 LONGITUDE: 77° 58' 57.10" W. +/- 20'

GROUND ELEVATION AT BASE OF TOWER:  
 655.3' +/- 3' NAVD, 1988

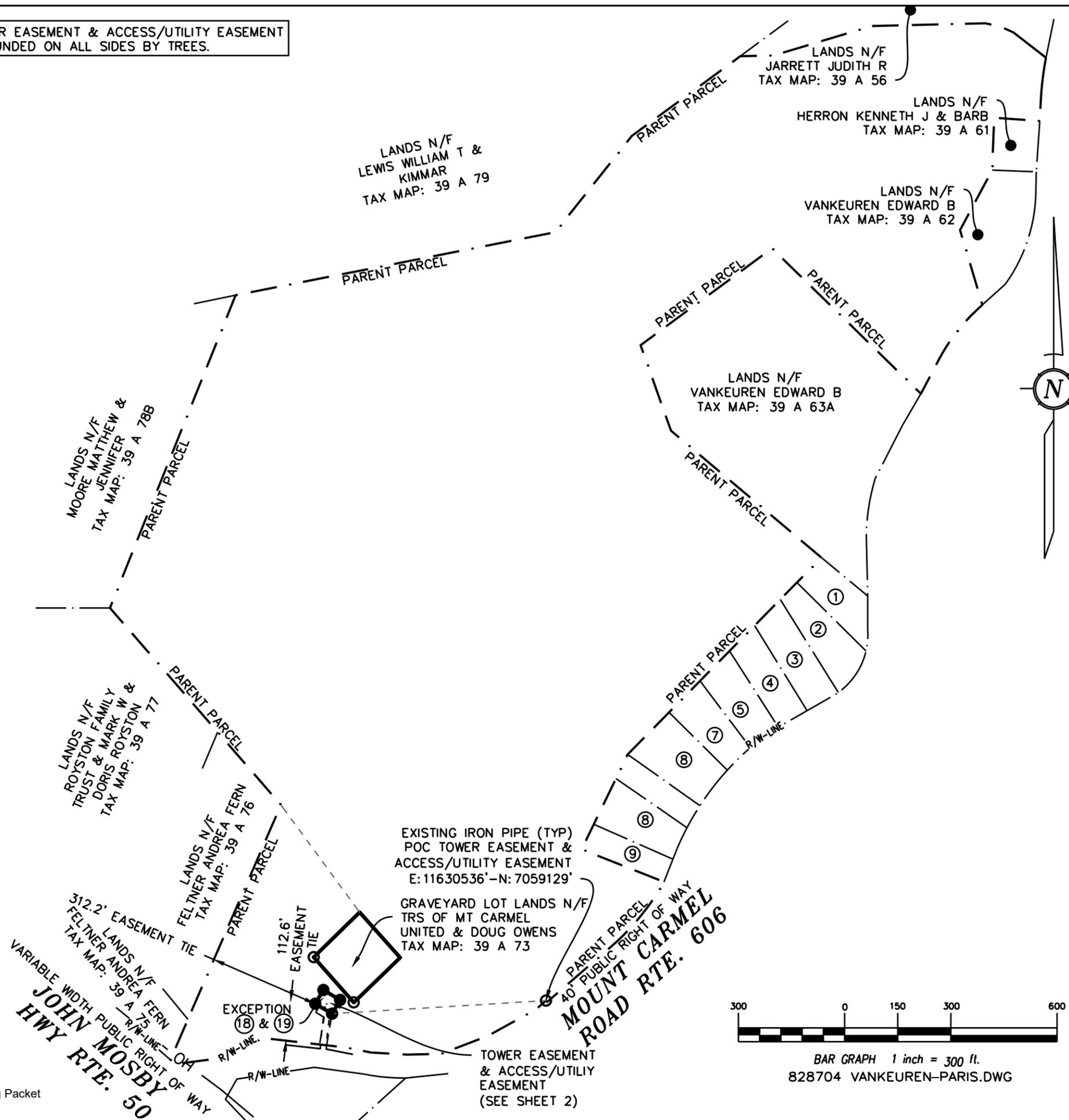
ZONING: N/A

THIS PARCEL OF LAND LIES WITHIN FLOOD ZONE X WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS PER F.I.R.M. PANEL NUMBER: 51043C0161D EFFECTIVE DATE: 09/28/2007

**LEGEND**

- : SET 5/8" REBAR, OR AS NOTED.
- : FOUND 1/2" REBAR, OR AS NOTED.
- : FOUND MONUMENT, OR AS NOTED.
- (---) : RECORD DESCRIPTION DATA.
- P.O.T. : POINT OF TERMINUS.
- P.O.B. : POINT OF BEGINNING.
- P.O.C. : POINT OF COMMENCEMENT.
- : FENCE AS NOTED.
- OH : OVER HEAD UTILITY LINES.
- ⊙ : WOOD UTILITY POLE.
- E : ELECTRIC TRANSFORMER.
- T : TELCO PEDESTAL.
- ⊕ : HAND HOLE.
- N/A : NOT AVAILABLE
- ▼ : FLOOD LIGHT

AREA	SQUARE FEET	ACRE
PARENT PARCEL	3,714,335	85.26
TOWER EASEMENT	2,475	0.06
TOWER COMPOUND	980	0.02
ACCESS/UTILITY EASEMENT	2,371	0.05



**EASEMENT SURVEY**

PREPARED FOR  
  
 2000 CORPORATE DR, CANONSBURG, PA 15317

**SITE: VANKEUREN-PARIS**  
**BUN: 828704**  
**ADDRESS: 130 MOUNT CARMEL ROAD, PARIS, VA 20130 CLARKE COUNTY**

NATIONAL SURVEY SERVICES COORDINATION BY:

**GEOLINE SURVEYING, INC.**  
 13430 NW 104th Terrace, Suite A Alachua, FL 32615  
 Office: (386) 418-0500 Fax: (386) 462-9986  
 WWW.GEOLINEINC.COM

SURVEY WORK PERFORMED BY:  
  
**Professional Land Surveying**  
 10505 Leafwood Place (919) 280-8189  
 Raleigh NC 27613 FAX 995-9616  
 E-MAIL : roleigh@murphygeomatics.com FIRM C-2757

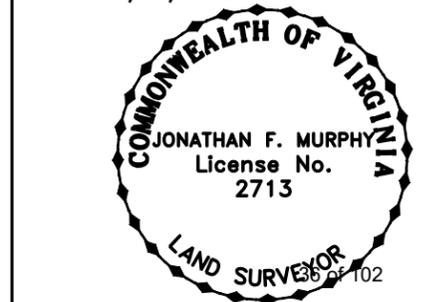
**SURVEYOR'S NOTES**

1. BASIS OF BEARING: VA GRID NORTH ZONE NAD83
2. NO SUBSURFACE INVESTIGATION WAS PERFORMED TO LOCATE UNDERGROUND UTILITIES. UTILITIES SHOWN HEREON ARE LIMITED TO AND ARE PER OBSERVED EVIDENCE ONLY.
3. THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL.
4. ALL VISIBLE TELECOM EQUIPMENT AND IMPROVEMENTS ARE CONTAINED WITHIN THE DESCRIBED AREA.
5. ALL SYMBOLS SHOWN HEREON NOT DEPICTED TO SCALE.

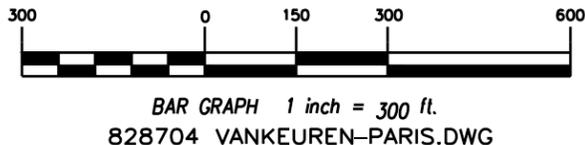
**SURVEYOR'S CERTIFICATION**

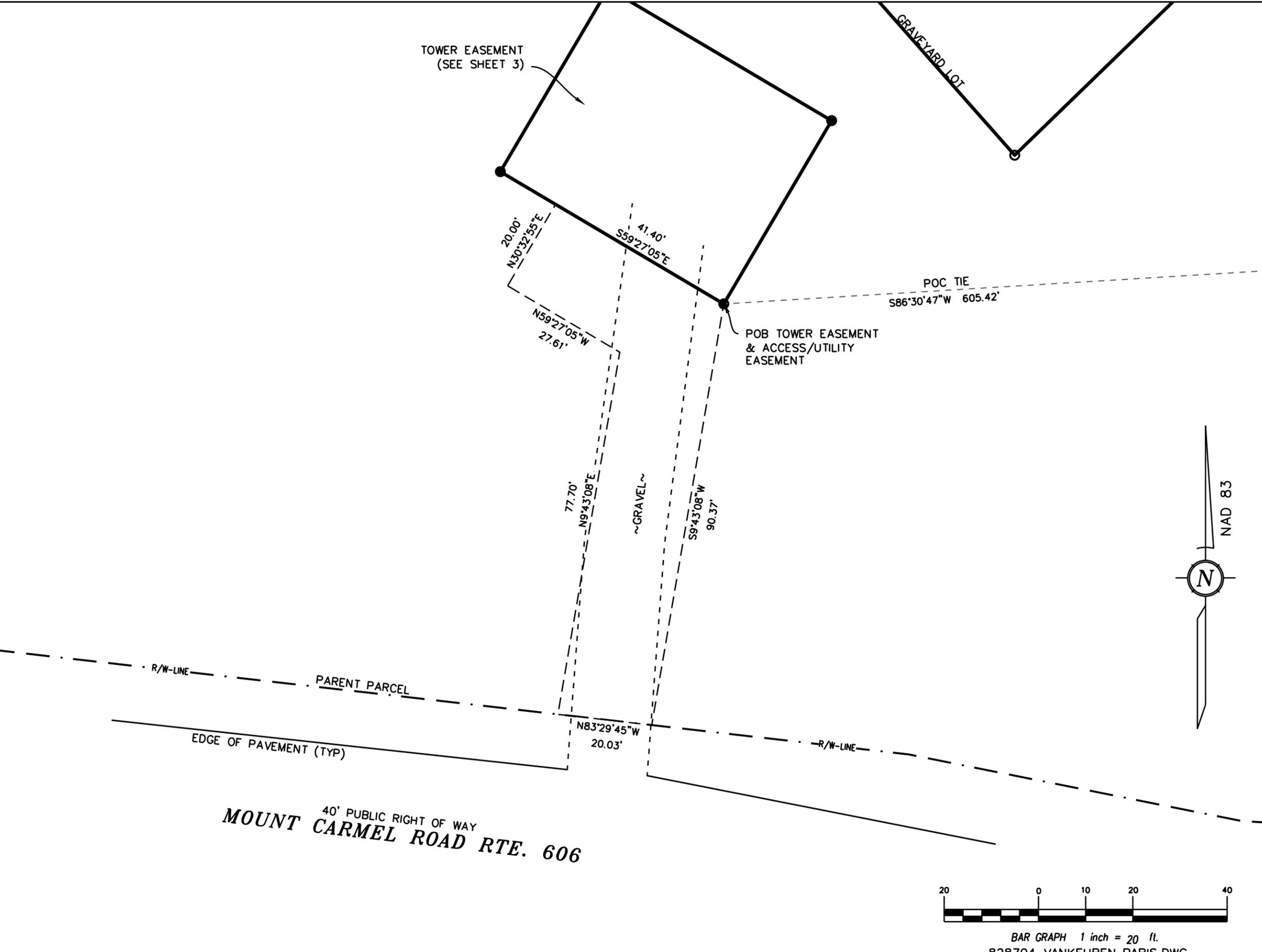
I HEREBY CERTIFY TO:  
 CROWN CASTLE AND OLD REPUBLIC  
 NATIONAL TITLE INSURANCE COMPANY

MURPHY GEOMATICS  
  
 JONATHAN MURPHY  
 LAND SURVEYOR - 2713  
 DATE: 03/12/2019



FIELD DATE: 01/21/2019





**EASEMENT SURVEY**

PREPARED FOR  
  
 2000 CORPORATE DR, CANONSBURG, PA 15317

**SITE: VANKEUREN-PARIS**  
**BUN: 828704**  
**ADDRESS: 130 MOUNT CARMEL ROAD,**  
**PARIS, VA 20130**  
**CLARKE COUNTY**

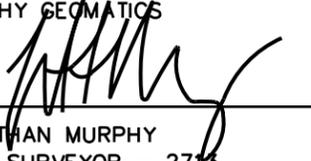
NATIONAL SURVEY SERVICES COORDINATION BY:

**GEOLINE**  
**SURVEYING, INC.**  
 13430 NW 104th Terrace, Suite A Alachua, FL 32615  
 Office: (386) 418-0500 Fax: (386) 462-9986  
 WWW.GEOLINEINC.COM

SURVEY WORK PERFORMED BY:  
  
**JONATHAN MURPHY**  
**Professional Land Surveying**  
 10505 Leafwood Place (919) 280-8189  
 Raleigh NC 27613 FAX 995-9616  
 E-MAIL : roaigh@murphygeomatics.com FIRM C-2757

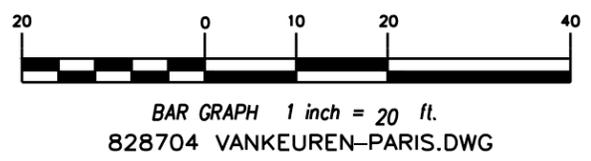
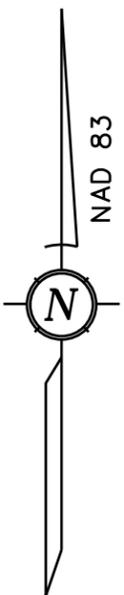
- SURVEYOR'S NOTES**
1. BASIS OF BEARING:  
VA GRID NORTH ZONE NAD83
  2. NO SUBSURFACE INVESTIGATION WAS PERFORMED TO LOCATE UNDERGROUND UTILITIES. UTILITIES SHOWN HEREON ARE LIMITED TO AND ARE PER OBSERVED EVIDENCE ONLY.
  3. THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL.
  4. ALL VISIBLE TELECOM EQUIPMENT AND IMPROVEMENTS ARE CONTAINED WITHIN THE DESCRIBED AREA.
  5. ALL SYMBOLS SHOWN HEREON NOT DEPICTED TO SCALE.

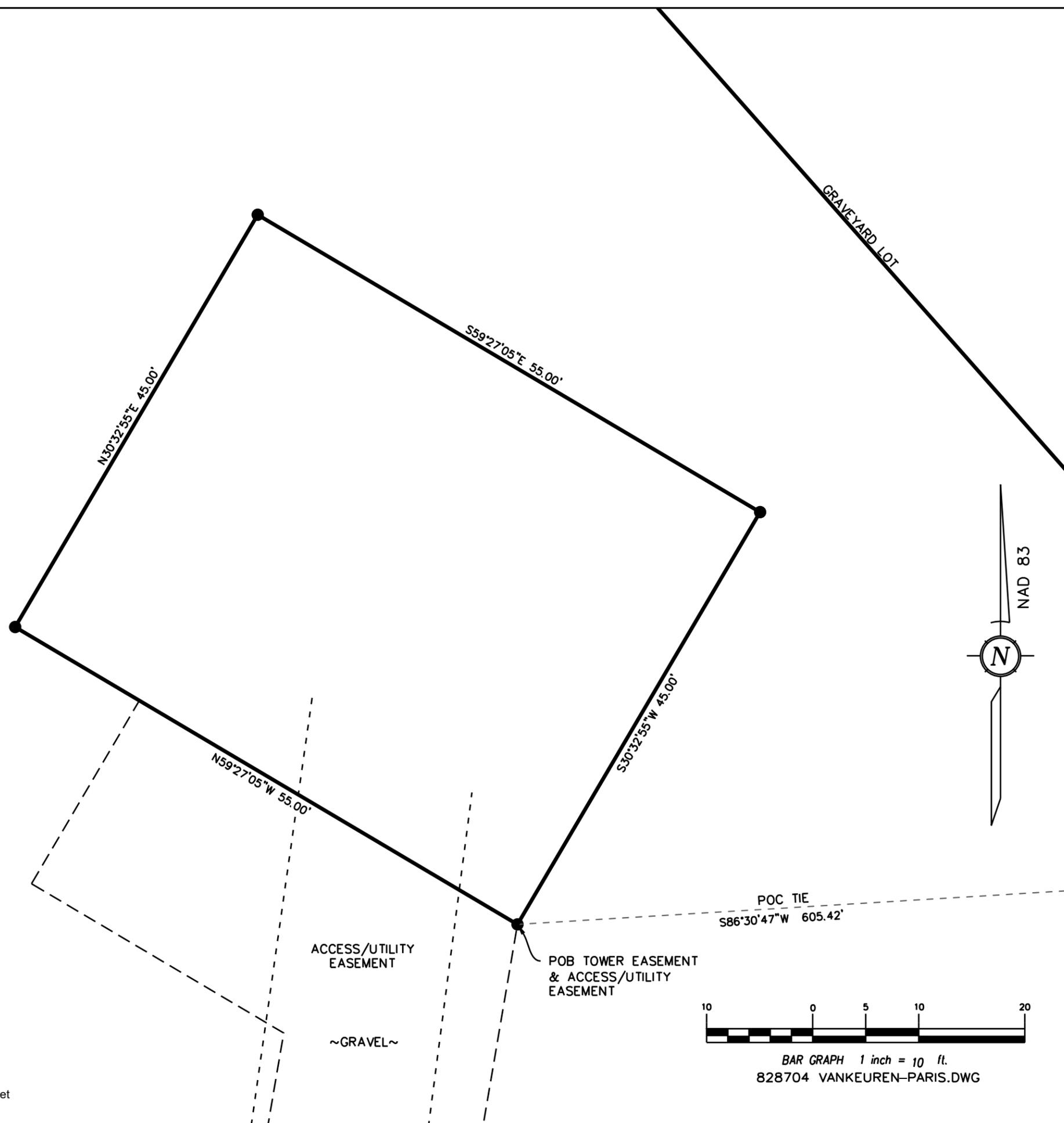
**SURVEYOR'S CERTIFICATION**  
 I HEREBY CERTIFY TO:  
 CROWN CASTLE AND OLD REPUBLIC  
 NATIONAL TITLE INSURANCE COMPANY

MURPHY GEOMATICS  
  
 JONATHAN MURPHY  
 LAND SURVEYOR - 2713  
 DATE: 03/12/2019



FIELD DATE: 01/21/2019





**EASEMENT SURVEY**

PREPARED FOR  
  
 2000 CORPORATE DR, CANONSBURG, PA 15317

**SITE: VANKEUREN-PARIS**  
**BUN: 828704**  
**ADDRESS: 130 MOUNT CARMEL ROAD,**  
**PARIS, VA 20130**  
**CLARKE COUNTY**

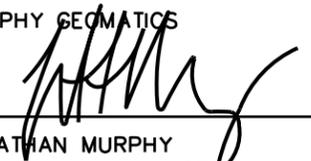
NATIONAL SURVEY SERVICES COORDINATION BY:

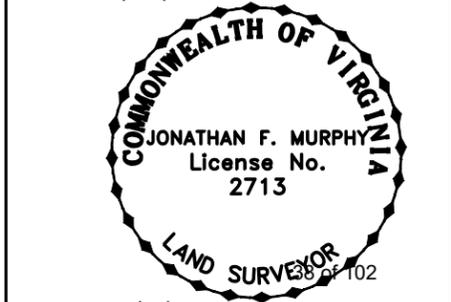
**GEOLINE**  
**SURVEYING, INC.**  
 13430 NW 104th Terrace, Suite A Alachua, FL 32615  
 Office: (386) 418-0500 Fax: (386) 462-9986  
 WWW.GEOLINEINC.COM

SURVEY WORK PERFORMED BY:  
  
**Jonathan**  
**MURPHY**  
**Professional Land Surveying**  
 10505 Leafwood Place (919) 280-8189  
 Raleigh NC 27613 FAX 995-9616  
 E-MAIL : roaigh@murphygeomatics.com FIRM C-2757

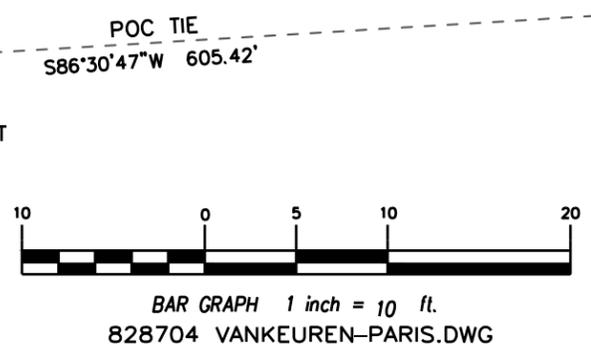
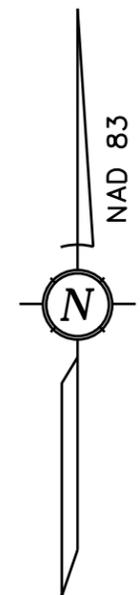
- SURVEYOR'S NOTES**
1. BASIS OF BEARING:  
VA GRID NORTH ZONE NAD83
  2. NO SUBSURFACE INVESTIGATION WAS PERFORMED TO LOCATE UNDERGROUND UTILITIES. UTILITIES SHOWN HEREON ARE LIMITED TO AND ARE PER OBSERVED EVIDENCE ONLY.
  3. THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL.
  4. ALL VISIBLE TELECOM EQUIPMENT AND IMPROVEMENTS ARE CONTAINED WITHIN THE DESCRIBED AREA.
  5. ALL SYMBOLS SHOWN HEREON NOT DEPICTED TO SCALE.

**SURVEYOR'S CERTIFICATION**  
 I HEREBY CERTIFY TO:  
 CROWN CASTLE AND OLD REPUBLIC  
 NATIONAL TITLE INSURANCE COMPANY

MURPHY GEOMATICS  
  
 JONATHAN MURPHY  
 LAND SURVEYOR - 2713  
 DATE: 03/12/2019



FIELD DATE: 01/21/2019



ACCESS/UTILITY  
 EASEMENT  
 ~GRAVEL~

POB TOWER EASEMENT  
 & ACCESS/UTILITY  
 EASEMENT

**LEGAL DESCRIPTION: TOWER EASEMENT (CREATED BY THIS OFFICE)**

A PORTION OF ALL THAT CERTAIN PARCEL OF LAND LYING IN THE UNINCORPORATED COMMUNITY OF PARIS, COUNTY OF CLARKE, STATE OF VIRGINIA, DESCRIBED IN DEED BOOK 41, PAGE 558, & DEED BOOK 61 PAGE 447, FURTHER DESCRIBED AS: COMMENCING FROM AN EXISTING IRON PIPE, FOUND ON A SOUTHERN PROPERTY LINE OF SAID PROPERTY, ALSO LYING ON THE NORTHERN RIGHT OF WAY OF MOUNT CARMEL ROAD ROUTE 606, AND HAVING VIRGINIA (NORTH ZONE) STATE PLANE COORDINATES E:11630536' -AND- N: 7059129'; THENCE, S 86° 30' 47" W FOR A DISTANCE OF 605.42 TO THE POINT OF BEGINNING; THENCE, N 59° 27' 05" W FOR A DISTANCE OF 55.00 FEET TO A POINT; THENCE, N 30° 32' 55" E FOR A DISTANCE OF 45.00 FEET TO A POINT; THENCE, S 59° 27' 05" E FOR A DISTANCE OF 55.00 FEET TO A POINT; THENCE, S 30° 32' 55" W FOR A DISTANCE OF 45.00 FEET TO THE POINT OF BEGINNING, CONTAINING 2,475 SQFT -OR- 0.06 ACRES.

**LEGAL DESCRIPTION: ACCESS/UTILITY EASEMENT (CREATED BY THIS OFFICE)**

A PORTION OF ALL THAT CERTAIN PARCEL OF LAND LYING IN THE UNINCORPORATED COMMUNITY OF PARIS, COUNTY OF CLARKE, STATE OF VIRGINIA, DESCRIBED IN DEED BOOK 41, PAGE 558, & DEED BOOK 61 PAGE 447, FURTHER DESCRIBED AS: COMMENCING FROM AN EXISTING IRON PIPE, FOUND ON A SOUTHERN PROPERTY LINE OF SAID PROPERTY, ALSO LYING ON THE NORTHERN RIGHT OF WAY OF MOUNT CARMEL ROAD ROUTE 606, AND HAVING VIRGINIA (NORTH ZONE) STATE PLANE COORDINATES E:11630536' -AND- N: 7059129'; THENCE, S 86° 30' 47" W FOR A DISTANCE OF 605.42 TO A POINT ON AN EXISTING 2,475 TOWER EASEMENT, ALSO BEING THE POINT OF BEGINNING; THENCE, DEPARTING SAID TOWER EASEMENT, S 09° 43' 08" W FOR A DISTANCE OF 90.37 FEET TO A POINT ON THE PUBLIC RIGHT OF WAY OF MOUNT CARMEL ROAD ROUTE 606, A DEDICATED PUBLIC RIGHT OF WAY; THENCE, ALONG SAID RIGHT OF WAY, N 83° 29' 45" W FOR A DISTANCE OF 20.03 FEET TO A POINT; THENCE, DEPARTING SAID RIGHT OF WAY, N 09° 43' 08" E FOR A DISTANCE OF 77.70 FEET TO A POINT; THENCE, N 59° 27' 05" W FOR A DISTANCE OF 27.61 FEET TO A POINT; THENCE, N 30° 32' 55" E FOR A DISTANCE OF 20.00 FEET TO A POINT THE PREVIOUSLY MENTIONED TOWER EASEMENT; THENCE, ALONG SAID TOWER EASEMENT, S 59° 27' 05" E FOR A DISTANCE OF 41.40 FEET TO THE POINT OF BEGINNING, CONTAINING 2,371 SQFT -OR- 0.05 ACRES.

**LEGAL DESCRIPTION: PARENT PARCEL (AS PROVIDED)**

SITUATED IN THE COUNTY OF CLARKE, STATE OF VIRGINIA:

**PARENT PARCEL:**

THE TRACT OF LAND SHOWN ON THE ATTACHED PLAT, LOCATED ON THE NORTH SIDE OF US ROUTE NO. 50, JOHN MOSBY HIGHWAY, AND ON THE EAST AND WEST SIDES OF ROUTE NO. 606, MOUNT CARMEL ROAD, ABOUT 4 MILES SOUTHEAST OF MILLWOOD, AND SITUATE IN CHAPEL MAGISTERIAL DISTRICT, CLARKE COUNTY, VIRGINIA, IS BOUNDED AS FOLLOWS:

BEGINNING AT AN IRON ROD FOUND IN THE CENTERLINE OF AN OLD ROAD BED, A CURRIER TO THOMAS IN THE NORTHERN LINE OF US ROUTE NO. 50; THENCE WITH THE NORTHERN LINE OF US ROUTE NO. 50 FOR THE FOLLOWING THREE COURSES: NORTH 41° 40' 15" WEST 144.75 FEET :O A CONCRETE HIGHWAY MONUMENT; THENCE NORTH 14° 57' 47" WEST 552.4 FEET TO A CONCRETE HIGHWAY MONUMENT; THENCE NORTH 36° 02' 26" WEST 1003.3 FEET TO A CONCRETE HIGHWAY MONUMENT AT THE INTERSECTION OF THE NORTHERN LINE OF 1.35 ROUTE RM. 50 AND THE EASTERN LINE OF THE CONNECTION OF ROUTE NO. 606; THENCE WITH THE EASTERN LINE OF THE CONNECTION OF ROUTE NO. 606 FOR THE FOLLOWING FOUR COURSES: NORTH 36° 47' 03" EAST 65.36 FEET TO A CONCRETE HIGHWAY MONUMENT; THENCE NORTH 88° 49' 18" EAST 221.60 FEET TO A CONCRETE HIGHWAY MONUMENT; THENCE SOUTH 74° 52' 37" EAST 137.50 FEET TO A CONCRETE HIGHWAY MONUMENT; THENCE WITH A CURVE TO THE LEFT HAVING A RADIUS OF 597.96 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 77° 07' 37" EAST 121.85 FEET FOR AN ARC LENGTH OF 122.07 FEET TO AN IRON ROD FOUND IN THE EASTERN LINE OF THE CONNECTION OF ROUTE NO. 606, A CORNER TO THOMAS IN AN OLD ROAD BED; THENCE WITH THOMAS AND GENERALLY FOLLOWING THE OLD ROAD BED SOUTH 55° 24' 2.2" WEST 416.25 FEET TO THE POINT OF BEGINNING.

BEGINNING AT AN IRON ROD SET IN THE WESTERN LINE OF ROUTE NO. 606, A CORNER TO VAN KEUREN (TM 39-A-63A); THENCE WITH VAN KEUREN (TM 39-A-63A) FOR THE FOLLOWING FOUR COURSES: NORTH 38° 22' 05" WEST 586.91 FEET TO AN IRON ROD SET; THENCE SOUTH 61° 05' 55" WEST 460.60 FEET TO AN IRON ROD SET; THENCE SOUTH 12° 12' 05" EAST 255.40 FEET TO AN IRON ROD SET; THENCE SOUTH 42° 31' 05" EAST 555.70 FEET TO AN IRON ROD SET IN THE LINE OF VAN KEUREN (TM 39-A-63A), A CORNER TO VAN KEUREN (TM 39B-1-1), THENCE WITH VAN KEUREN (TM 39B-1-1 THROUGH 9) FOR THE FOLLOWING THREE COURSES: SOUTH 52° 03' 15" WEST 778.89 FEET TO AN ISM ROD SET, THENCE SOUTH 33° 19' 05" WEST 297.44 FEET TO AN IRON ROD SET; THENCE SOUTH 61° 04' 55" EAST 250.00 FEET TO AN IRON ROD SET, A CORNER TO VAN KEUREN (TM 39B-1-9) IN THE WESTERN LINE OF ROUTE NO. 606; THENCE WITH THE WESTERN LINE OF ROUTE NO. 606 FOR THE FOLLOWING TWO COURSES: WITH A CURVE TO THE RIGHT HAVING A RADIUS OF 705.00 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 46° ST 3 1" WEST 239.61 FEET FOR AN ARC LENGTH OF 240.78 FEET; THENCE SOUTH 56° 40' 33" WEST 234.65 FEET TO THE POINT OF INTERSECTION OF THE WESTERN LINE OF ROUTE NO 606 AND THE WESTERN LINE OF THE CONNECTION OF ROUTE NO 606; THENCE WITH THE WESTERN LINE OF THE CONNECTION OF ROUTE NO. 606 FOR THE FOLLOWING TEN COURSES: NORTH 33° 12' 53" WEST 5.00 FEET TO A CONCRETE HIGHWAY MONUMENT THENCE SOUTH 56° 16' 29" WEST 37.48 FEET TO A CONCRETE HIGHWAY MONUMENT; THENCE SOUTH 68° 36' 07" WEST 154.13 FEET TO A CONCRETE HIGHWAY MONUMENT; THENCE SOUTH 76° 24' 26" WEST 141.76 FEET TO A CONCRETE HIGHWAY MONUMENT; THENCE NORTH 84° 02' 01" WEST 95.28 FEET TO A POINT; THENCE NORTH 79° 20' 55" WEST 103.61 FEET TO A CONCRETE HIGHWAY MONUMENT MACE NORTH 71° 18' 39" WEST 72.06 FEET TO A CONCRETE HIGHWAY MONUMENT; THENCE NORTH 76° 05' 34" WEST 233.32 FEET TO A CONCRETE HIGHWAY MONUMENT; THENCE SOUTH 75° 15' 13" WEST 157.33 FEET TO A CONCRETE HIGHWAY MONUMENT; THENCE SOUTH 89° 52' 57" WEST 105.25 FEET TO A CONCRETE HIGHWAY MONUMENT AT THE INTERSECTION OF THE WESTERN LINE OF THE CONNECTION OF ROUTE NO. 606 AND THE NORTHERN LINE OF US ROUTE NO. 50; THENCE WITH THE NORTHERN LINE OF US ROUTE NO. 50 NORTH 41° 44' 02" WEST 18.42 FEET TO AN IRON ROD FOUND IN THE NORTHERN LINE OF US ROUTE NO. 50, A CORNER TO FELTNER MEL 39-A-75); THENCE WITH FELTNER (TM 34-A-75) AND WITH FELTNER (TM 39-A-76) NORTH 30° 55' 11" EAST 781.86 FEET TO AN IRON PIPE FOUND; THENCE CONTINUING WITH FELTNER (TM 39-A-76) AND WITH ROYSTON FAMILY TRUST NORTH 33° 38' 24" WEST 735.52 FEET TO AN IRON PIPE FOUND; THENCE CONTINUING WITH ROYSTON FATALLY TRUST NORTH 29° 21' 14" EAST 949.67 FEET TO AN IRON ROD FOUND, ET CORNER TO ROYSTON FAMILY TRUST IN THE LINE OF LEWIS; THENCE WITH LEWIS FOR THE FOLLOWING THREE COURSES:

THENCE WITH LEWIS FOR THE FOLLOWING THREE COURSES: NORTH 86° 16' 59" EAST 920.20 FEET TO AN IRON ROD SET; THENCE NORTH 45° 57' 59" EAST 347.00 FEET TO A BLAZED 14" RED OAK; THENCE NORTH 61° 10' 48" EAST 379.41 FEET TO AN IRON ROD SET IN THE LINE OF LEWIS, A CORNER TO JARRETT IN AN ACCESS DRIVE OR ROAD; THENCE WITH JARRETT AND GENERALLY FOLLOWING THE CENTERLINE OF THE ACCESS DRIVE FOR THE FOLLOWING SIX COURSES; SOUTH 83° 51' 24" EAST 93.58 FEET; THENCE NORTH 80° 46' 11" EAST 289.92 FEET; THENCE SOUTH 83° 59' 01" EAST 320.64 FEET; THENCE SOUTH 70° 27' 24" EAST 43.77 FEET; THENCE SOUTH 58° 15' 47" EAST 40.34 FEET; THENCE SOUTH 44° 57' 15" EAST 116.31 FEET TO A POINT IN THE CENTERLINE OF THE ACCESS DRIVE, A CORNER TO JARRETT IN THE WESTERN LINE OF ROUTE NO. 606; THENCE WITH THE WESTERN LINE OF ROUTE NO. 606 FOR THE FOLLOWING TWO COURSES: WITH A CURVE TO THE LEFT HAVING A RADIUS OF 865.00 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 14° 17' 51" WEST 120.91 FEET FOR AN ARC LENGTH OF 121.01 FEET; THENCE SOUTH 10° 17' 23" WEST 58.29 FEET TO A POINT IN THE WESTERN LINE OF ROUTE NO. 606, A CORNER TO HERRON; THENCE WITH HERRON FOR THE FOLLOWING TWO COURSES: NORTH 78- 35' 40" WEST PASSING OVER AN IRON PIPE FOUND AT 1.84 FEET FOR A TOTAL DISTANCE OF 129.29 FEET TO AN IRON PIPE FOUND; THENCE SOUTH 09°36' 14" WEST 147.51 FEET TO AN IRON PIPE FOUND, A CORNER TO HERRON AND VAN KEUREN (TM 39-A-62); THENCE WITH VAN KEUREN (TM 39-A-62) FOR THE FOLLOWING TWO COURSES: SOUTH 35° 38' 09" WEST 191.84 FEET TO AN IRON ROD SET; THENCE SOUTH 09° 16' 51" EAST PASSING OVER AN IRON PIPE FOUND AT 218.68 FEET FOR A TOTAL DISTANCE OF 219.67 FEET TO A POINT, A CORNER TO VAN KEUREN (TM 39-A-62) IN THE WESTERN LINE OF ROUTE NO. 606; THENCE WITH THE WESTERN LINE OF ROUTE NO. 606 FOR THE FOLLOWING THREE COURSES: SOUTH 54° 41' 05" WEST 20.55 FEET; THENCE WITH A CURVE TO THE LEFT HAVING A RADIUS OF 520.00 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 44° 59' 01" WEST 175.25 FEET FOR AN ARC LENGTH OF 176.09 FEET; THENCE SOUTH 35° 16' 57" WEST 110.28 FEET TO THE POINT OF BEGINNING.

TAX I.D. NUMBER: 39-A-74

BEING A PORTION OF THE SAME PROPERTY CONVEYED TO BRUCE E. VANKEUREN, GRANTEE, FROM ELLEN I. VANKEUREN, GRANTOR, BY DEED RECORDED 05/31/1961, AS BOOK 61, PAGE 447 OF THE CLARKE COUNTY RECORDS.

SURVEYORS REVIEW OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 01-19005311-01T COMMITMENT DATE: 02/04/2019 AT 7:00 AM

1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I--REQUIREMENTS ARE MET. -STANDARD EXCEPTION

2 FACTS WHICH WOULD BE DISCLOSED BY A COMPREHENSIVE SURVEY OF THE PREMISES HEREIN DESCRIBED. -STANDARD EXCEPTION

3 RIGHTS OR CLAIMS OF PARTIES IN POSSESSION. -STANDARD EXCEPTION

4. MECHANICS', CONTRACTORS' OR MATERIAL MEN'S LIENS AND LIEN CLAIMS, IF ANY, WHERE NO NOTICE THEREOF APPEARS OF RECORD. -STANDARD EXCEPTION

5 ANY CHANGES IN TITLE OCCURRING SUBSEQUENT TO THE EFFECTIVE DATE OF THIS COMMITMENT AND PRIOR TO THE DATE OF ISSUANCE OF THE TITLE POLICY. -STANDARD EXCEPTION

6 DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH MATTERS VIOLATE 42 USC 3604(C). NOTE: THE POLICY ISSUED HEREUNDER WILL INSURE AGAINST LOSS OR DAMAGE ARISING FROM THE PROVISIONS OF THE REFERENCED COVENANTS, CONDITIONS OR RESTRICTIONS UNDER WHICH THE LIEN OF THE INSURED MORTGAGE CAN BE EXTINGUISHED, SUBORDINATED, OR IMPAIRED. -STANDARD EXCEPTION

7 QUANTITY OF ACREAGE/SQUARE FOOTAGE AS SET FORTH IN SCHEDULE A, IF ANY. -STANDARD EXCEPTION

8. TAXES AND SPECIAL ASSESSMENTS FOR CURRENT TAX YEAR AND ALL SUBSEQUENT YEARS. -STANDARD EXCEPTION

9. RIGHT OF WAY IN FAVOR OF NORTHERN VIRGINIA POWER COMPANY, RECORDED 12/11/1952, AS BOOK 42, PAGE 513 OF THE CLARKE COUNTY RECORDS. -AFFECTS PARENT PARCEL, EXCEPTION IS BLANKET IN NATURE

10. RIGHT OF WAY AGREEMENT IN FAVOR OF AMERICAN TELEPHONE AND TELEGRAPH COMPANY OF VIRGINIA, RECORDED 04/19/1957, AS BOOK 51, PAGE 72 OF THE CLARKE COUNTY RECORDS. -AFFECTS PARENT PARCEL, UNABLE TO PLOT NO DESCRIPTION PROVIDED

11. RIGHT OF WAY AGREEMENT IN FAVOR OF NORTHERN VIRGINIA POWER COMPANY, RECORDED 03/22/1961 IN BOOK 61, PAGE 157 OF CLARKE COUNTY RECORDS. -AFFECTS PARENT PARCEL, UNABLE TO PLOT NO DESCRIPTION PROVIDED

12. RIGHT OF WAY AGREEMENT IN FAVOR OF NORTHERN VIRGINIA POWER COMPANY, RECORDED 08/15/1961 IN BOOK 62, PAGE 190 OF CLARKE COUNTY RECORDS. -AFFECTS PARENT PARCEL, UNABLE TO PLOT NO DESCRIPTION PROVIDED

13. RIGHT OF WAY AGREEMENT IN FAVOR OF THE NORTHERN VIRGINIA POWER COMPANY, RECORDED 09/29/1965 IN BOOK 74, PAGE 43 OF CLARKE COUNTY RECORDS. -AFFECTS PARENT PARCEL, UNABLE TO PLOT NO DESCRIPTION PROVIDED

14. CERTIFICATE OF TAKING IN FAVOR OF STATE HIGHWAY COMMISSIONER OF VIRGINIA, RECORDED 07/13/1973, AS BOOK 101, PAGE 698 OF THE CLARKE COUNTY RECORDS. -AFFECTS PARENT PARCEL, UNABLE TO PLOT NO DESCRIPTION PROVIDED

15. DECLARATION OF RESTRICTIVE COVENANT, RECORDED 10/16/2003, IN BOOK 391, PAGE 864 OF THE CLARKE COUNTY RECORDS. -AFFECTS PARENT PARCEL, UNABLE TO PLOT NO DESCRIPTION PROVIDED

16. RIGHT OF WAY AGREEMENT IN FAVOR OF THE POTOMAC EDISON COMPANY, RECORDED 12/01/2003 IN BOOK 394, PAGE 937 OF CLARKE COUNTY RECORDS. -AFFECTS PARENT PARCEL, UNABLE TO PLOT NO DESCRIPTION PROVIDED

17. MEMORANDUM OF LEASE BY AND BETWEEN EDWARD BRUCE VAN KEUREN, LANDLORD AND OMNIPONT COMMUNICATIONS CAP OPERATIONS, LLC, TENANT, RECORDED 09/29/2004 AS BOOK 416, PAGE 186 OF THE CLARKE COUNTY RECORDS. -AFFECTS PARENT PARCEL, UNABLE TO PLOT NO DESCRIPTION PROVIDED

18. MEMORANDUM OF LAND LEASE AGREEMENT BY AND BETWEEN EDWARD VAN KEUREN, LESSOR(S) AND WASHINGTON, D.C. SMSA LIMITED PARTNERSHIP DBA VERIZON WIRELESS, LESSEE(S), RECORDED 12/06/2006 AS BOOK 471, PAGE 324 OF THE CLARKE COUNTY RECORDS. -AFFECTS PARENT PARCEL, TOWER EASEMENT SHOWN ON SURVEY

19. WIRELESS COMMUNICATION EASEMENT AND ASSIGNMENT AGREEMENT IN FAVOR OF T2 UNISON SITE MANAGEMENT LLC, RECORDED 08/28/2007, AS BOOK 486, PAGE 105 OF THE CLARKE COUNTY RECORDS. -AFFECTS PARENT PARCEL, COMMUNICATION EASEMENT SHOWN ON SURVEY

20. MEMORANDUM OF MASTER PREPAID LEASE AND MANAGEMENT AGREEMENT BY AND BETWEEN T MOBILE USA TOWER LLC, LESSOR(S) AND CCTMO LLC, RECORDED 03/27/2014 AS BOOK 575, PAGE 322 OF THE CLARKE COUNTY RECORDS. -AFFECTS PARENT PARCEL, UNABLE TO PLOT NO DESCRIPTION PROVIDED

**EASEMENT SURVEY**

PREPARED FOR



2000 CORPORATE DR, CANONSBURG, PA 15317

**SITE: VANKEUREN-PARIS**

**BUN: 828704**

**ADDRESS: 130 MOUNT CARMEL ROAD,  
PARIS, VA 20130  
CLARKE COUNTY**

**NATIONAL SURVEY SERVICES COORDINATION BY:**

**GEOLINE  
SURVEYING, INC.**

13430 NW 104th Terrace, Suite A Alachua, FL 32615  
Office:(386) 418-0500 Fax:(386) 462-9986  
WWW.GEOLINEINC.COM

**SURVEY WORK PERFORMED BY:**

**JONATHAN  
MURPHY**

**Professional Land Surveying**  
10505 Leafwood Place (919) 280-8189  
Raleigh NC 27613 FAX 995-9616  
E-MAIL : roaigh@murphygeomatics.com FIRM C-2757

**SURVEYOR'S NOTES**

- 1. BASIS OF BEARING: VA GRID NORTH ZONE NAD83
- 2. NO SUBSURFACE INVESTIGATION WAS PERFORMED TO LOCATE UNDERGROUND UTILITIES. UTILITIES SHOWN HEREON ARE LIMITED TO AND ARE PER OBSERVED EVIDENCE ONLY.
- 3. THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL.
- 4. ALL VISIBLE TELECOM EQUIPMENT AND IMPROVEMENTS ARE CONTAINED WITHIN THE DESCRIBED AREA.
- 5. ALL SYMBOLS SHOWN HEREON NOT DEPICTED TO SCALE.

**SURVEYOR'S CERTIFICATION**

I HEREBY CERTIFY TO:  
CROWN CASTLE AND OLD REPUBLIC  
NATIONAL TITLE INSURANCE COMPANY

MURPHY GEOMATICS

JONATHAN MURPHY  
LAND SURVEYOR - 2713  
DATE: 03/12/2019



FIELD DATE: 01/21/2019



NO.	DATE	DESCRIPTION	BY
1	03-01-19	PRELIMINARY ZONING DRAWINGS	AGT
2	03-05-19	FINAL ZONING DRAWINGS	AGT
3	04-23-19	ADDITIONS TO ZONING DRAWINGS	AGT
4	05-29-19	95' TOWER SETBACK	AGT
5	06-07-19	92' TOWER FALL ZONE	AGT

DRAWN BY: **AGT**  
 CHECKED BY: **BMQ**  
 DRAWING DATE: **06-07-19**

CARRIER'S NAME

SITE NUMBER:  
 SITE NAME:

SITE NAME

**VANKEUREN - PARIS**

BUSINESS UNIT NUMBER

**828704**

SITE ADDRESS

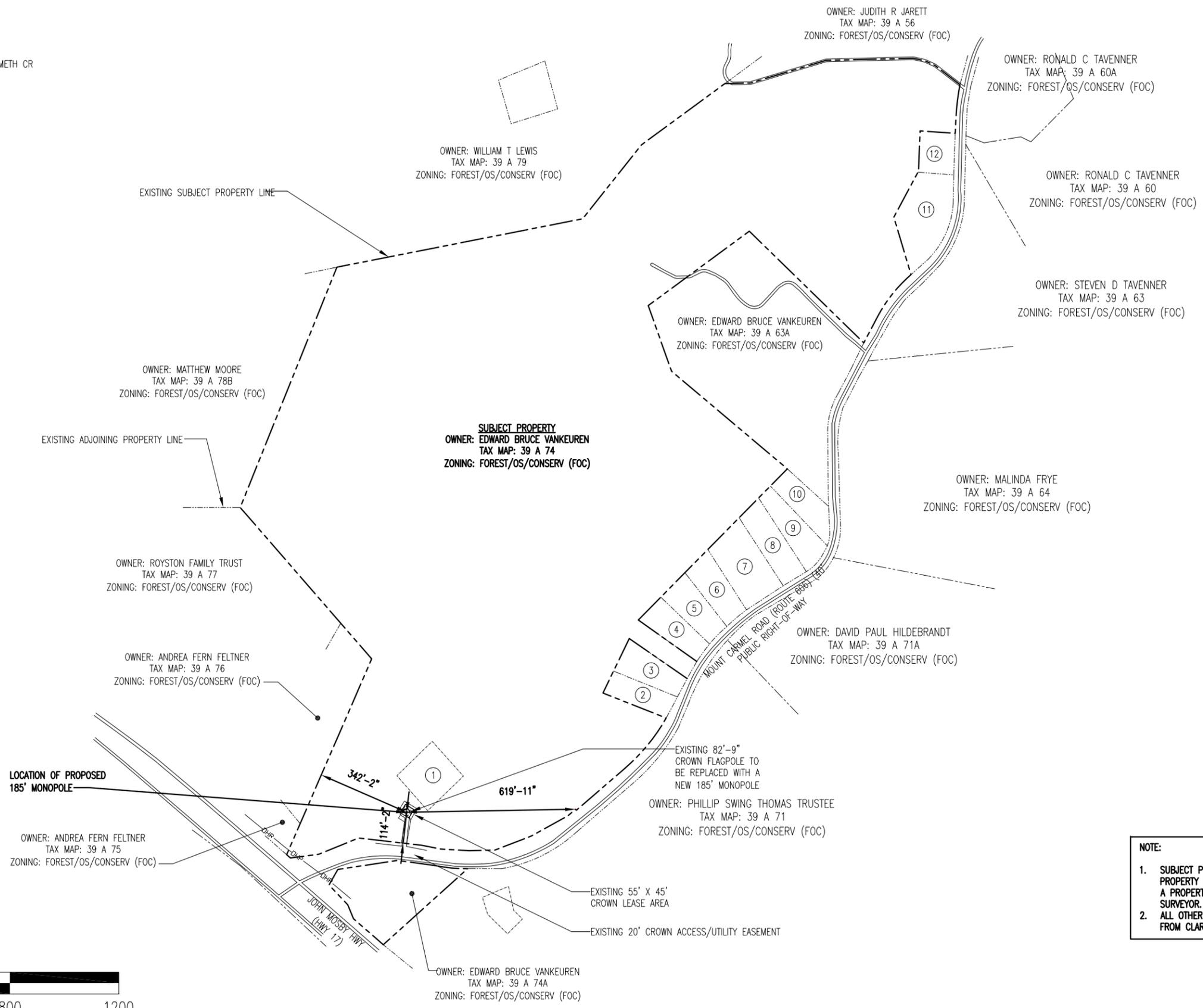
**653 MOUNT CARMEL RD.  
 PARIS, VA 20130**

SHEET TITLE

**EXISTING SITE PLAN-  
 ADJ. PROPERTY INFO**

SHEET NUMBER

- 1 COMMUNICATION EASEMENT LANDS  
 OWNER: TRS OF MT CARMEL UNITED METH CR  
 TAX MAP: 39 A 73  
 ZONING: FOREST/OS/CONSERV (FOC)
- 2 OWNER: EDWARD BRUCE VANKEUREN  
 TAX MAP: 39B 1 9  
 ZONING: FOREST/OS/CONSERV (FOC)
- 3 OWNER: EDWARD BRUCE VANKEUREN  
 TAX MAP: 39B 1 8  
 ZONING: FOREST/OS/CONSERV (FOC)
- 4 OWNER: EDWARD BRUCE VANKEUREN  
 TAX MAP: 39B 1 7  
 ZONING: FOREST/OS/CONSERV (FOC)
- 5 OWNER: EDWARD BRUCE VANKEUREN  
 TAX MAP: 39B 1 6  
 ZONING: FOREST/OS/CONSERV (FOC)
- 6 OWNER: EDWARD BRUCE VANKEUREN  
 TAX MAP: 39B 1 5  
 ZONING: FOREST/OS/CONSERV (FOC)
- 7 OWNER: EDWARD BRUCE VANKEUREN  
 TAX MAP: 39B 1 4  
 ZONING: FOREST/OS/CONSERV (FOC)
- 8 OWNER: EDWARD BRUCE VANKEUREN  
 TAX MAP: 39B 1 3  
 ZONING: FOREST/OS/CONSERV (FOC)
- 9 OWNER: EDWARD BRUCE VANKEUREN  
 TAX MAP: 39B 1 2  
 ZONING: FOREST/OS/CONSERV (FOC)
- 10 OWNER: EDWARD BRUCE VANKEUREN  
 TAX MAP: 39B 1 1  
 ZONING: FOREST/OS/CONSERV (FOC)
- 11 OWNER: EDWARD BRUCE VANKEUREN  
 TAX MAP: 39 A 62  
 ZONING: FOREST/OS/CONSERV (FOC)
- 12 OWNER: KENETH J HERRON  
 TAX MAP: 39 A 61  
 ZONING: FOREST/OS/CONSERV (FOC)



**NOTE:**

1. SUBJECT PROPERTY & ADJOINING PROPERTY LINES WERE OBTAINED FROM A PROPERTY SURVEY BY A LICENSED SURVEYOR.
2. ALL OTHER INFORMATION WAS OBTAINED FROM CLARKE COUNTY, VA GIS WEBSITE.

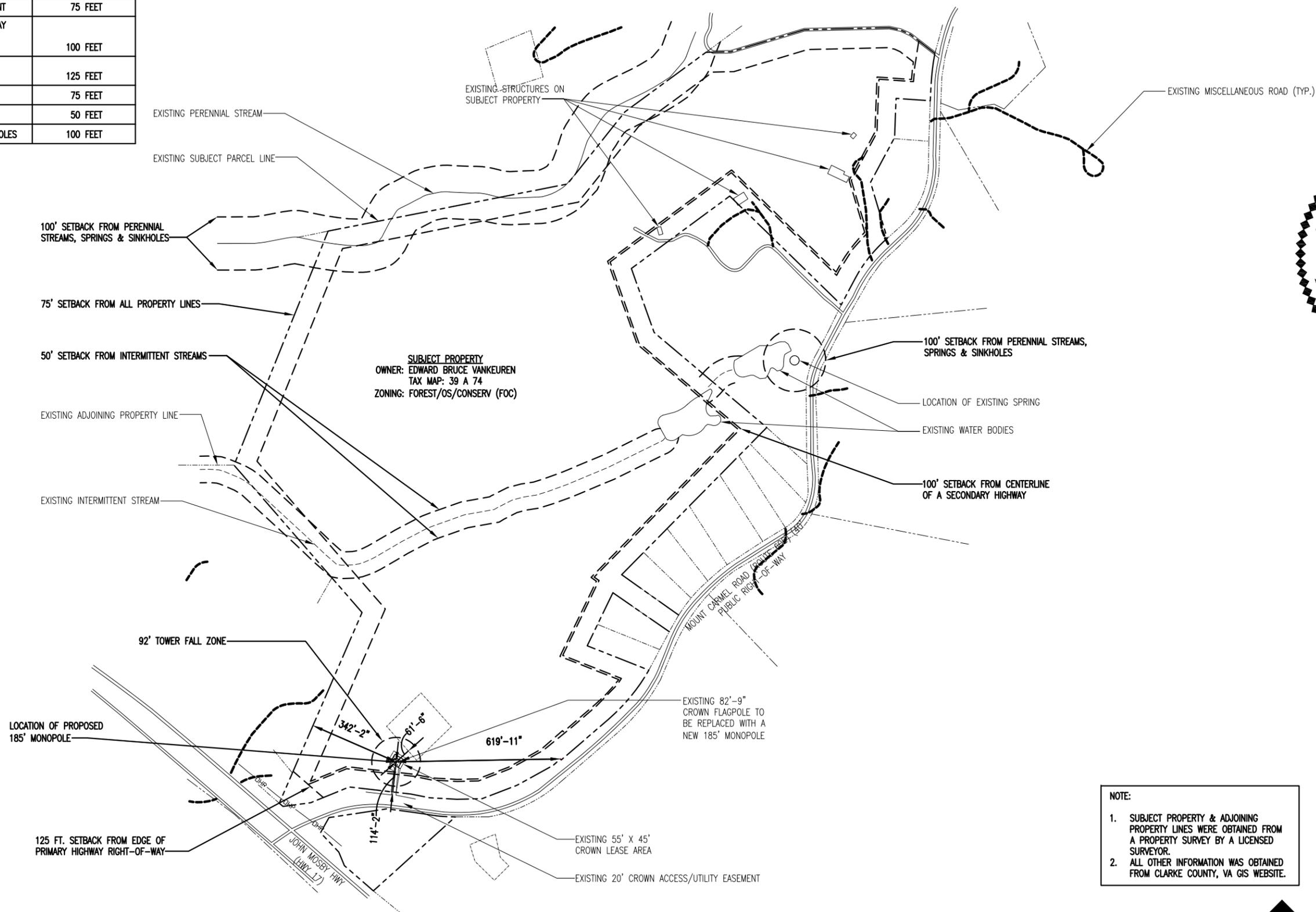


**EXISTING SITE PLAN SHOWING ADJACENT PROPERTY INFORMATION & ZONING**

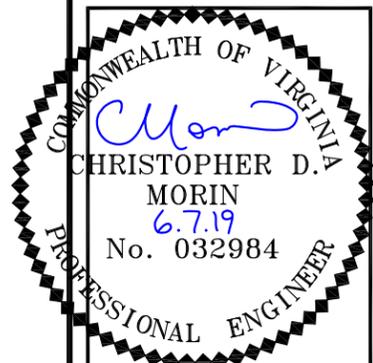
SCALE: 1"=400' (11"X17")  
 1"=200' (24"X36")

**1**

MINIMUM SETBACK REQUIREMENTS	
MINIMUM SETBACK REQUIREMENTS FOR FORESTAL-OPEN SPACE-CONSERVATION DISTRICT - FOC ZONED PARCELS	PARCELS WITH 20 ACRES AND GREATER
FROM THE EDGE OF A PRIVATE ACCESS EASEMENT	75 FEET
FROM THE CENTERLINE OF A SECONDARY HIGHWAY IF STATE DESIGNATED SCENIC HIGHWAY, ADD 50 FEET ON PARCELS OF 1 ACRE AND GREATER	100 FEET
FROM THE EDGE OF A PRIMARY HIGHWAY RIGHT OF WAY	125 FEET
FROM ALL PROPERTY LINES	75 FEET
FROM INTERMITTENT STREAMS	50 FEET
FROM PERENNIAL STREAMS & SPRINGS & SINKHOLES	100 FEET



**SUBJECT PROPERTY**  
 OWNER: EDWARD BRUCE VANKEUREN  
 TAX MAP: 39 A 74  
 ZONING: FOREST/OS/CONSERV (FOC)



NO.	DATE	DESCRIPTION	BY	AGT	ACT	AGT	ACT	AGT	ACT
A	03-01-19	PRELIMINARY ZONING DRAWINGS							
0	03-05-19	FINAL ZONING DRAWINGS							
1	04-23-19	ADDITIONS TO ZONING DRAWINGS							
2	05-29-19	95' TOWER SETBACK							
3	06-07-19	92' TOWER FALL ZONE							

DRAWN BY: **AGT**  
 CHECKED BY: **BMQ**  
 DRAWING DATE: **06-07-19**

CARRIER'S NAME

SITE NUMBER:  
 SITE NAME:

SITE NAME

**VANKEUREN - PARIS**

BUSINESS UNIT NUMBER

**828704**

SITE ADDRESS

**653 MOUNT CARMEL RD.  
 PARIS, VA 20130**

SHEET TITLE

**EXISTING SITE PLAN-  
 SETBACKS**

SHEET NUMBER

**NOTE:**  
 1. SUBJECT PROPERTY & ADJOINING PROPERTY LINES WERE OBTAINED FROM A PROPERTY SURVEY BY A LICENSED SURVEYOR.  
 2. ALL OTHER INFORMATION WAS OBTAINED FROM CLARKE COUNTY, VA GIS WEBSITE.

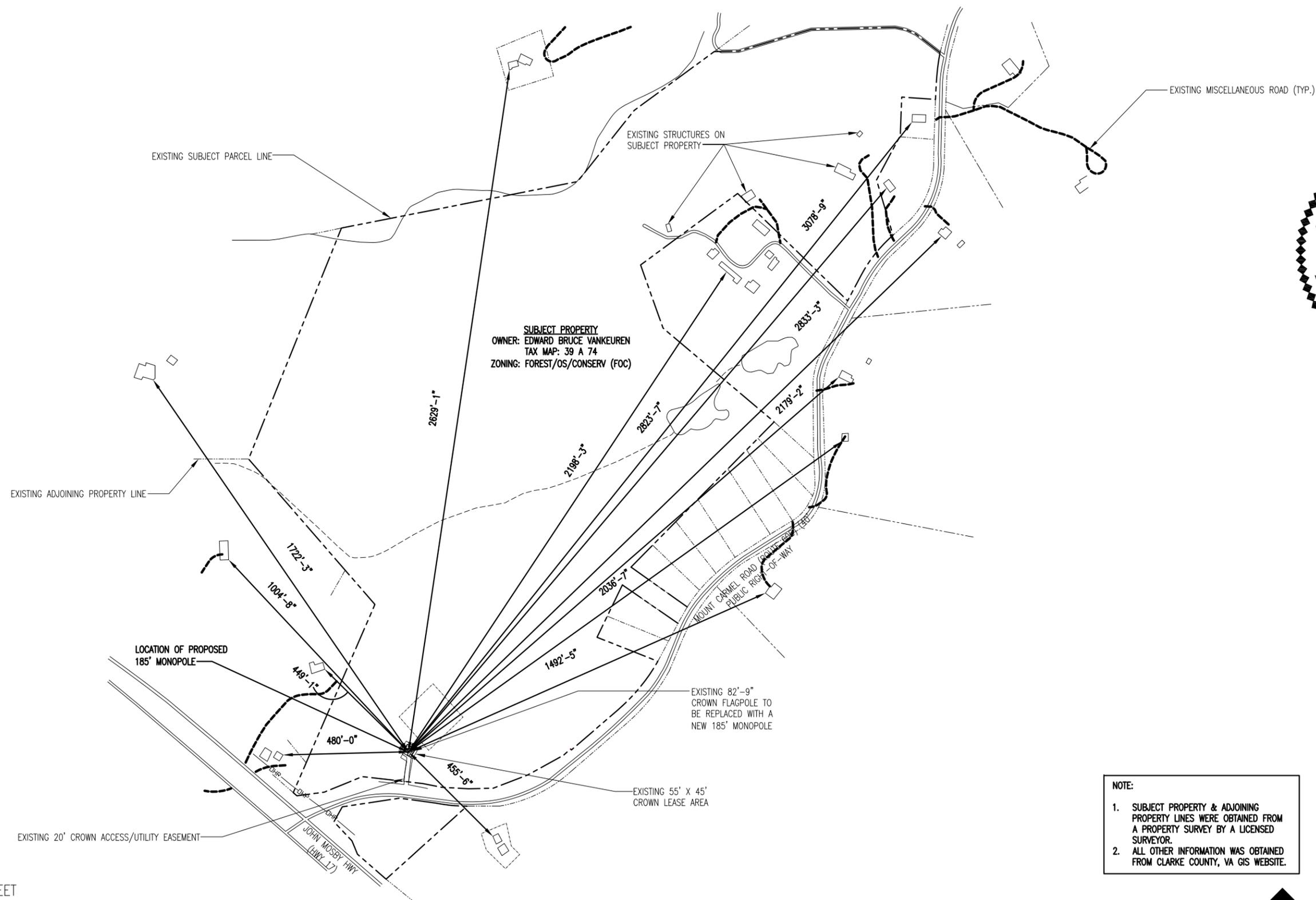
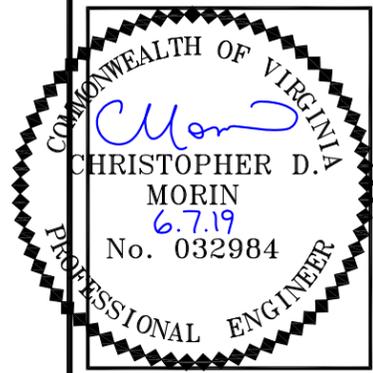


**EXISTING SITE PLAN SHOWING SETBACKS TO PROPERTY LINES**

SCALE: 1"=400' (11"X17")  
 1"=200' (24"X36")

**1**

Y:\Drawings - 2019\Crown\828704 - ATT.dwg - VanKeuren\_Paris\_2019 - Rev 3 - 2019-06-07\A0A.dwg  
 06-07-19 ATESS 14:22:28



**NOTE:**

- SUBJECT PROPERTY & ADJOINING PROPERTY LINES WERE OBTAINED FROM A PROPERTY SURVEY BY A LICENSED SURVEYOR.
- ALL OTHER INFORMATION WAS OBTAINED FROM CLARKE COUNTY, VA GIS WEBSITE.



REVISIONS NO.	DATE	DESCRIPTION	BY	ACT
A	03-01-19	PRELIMINARY ZONING DRAWINGS	ACT	ACT
0	03-05-19	FINAL ZONING DRAWINGS	ACT	ACT
1	04-23-19	ADDITIONS TO ZONING DRAWINGS	ACT	ACT
2	05-29-19	95' TOWER SETBACK	ACT	ACT
3	06-07-19	92' TOWER FALL ZONE	ACT	ACT

DRAWN BY: **AGT**  
 CHECKED BY: **BMQ**  
 DRAWING DATE: **06-07-19**

CARRIER'S NAME

SITE NUMBER:  
 SITE NAME:

SITE NAME

**VANKEUREN - PARIS**

BUSINESS UNIT NUMBER

**828704**

SITE ADDRESS

**653 MOUNT CARMEL RD.  
 PARIS, VA 20130**

SHEET TITLE

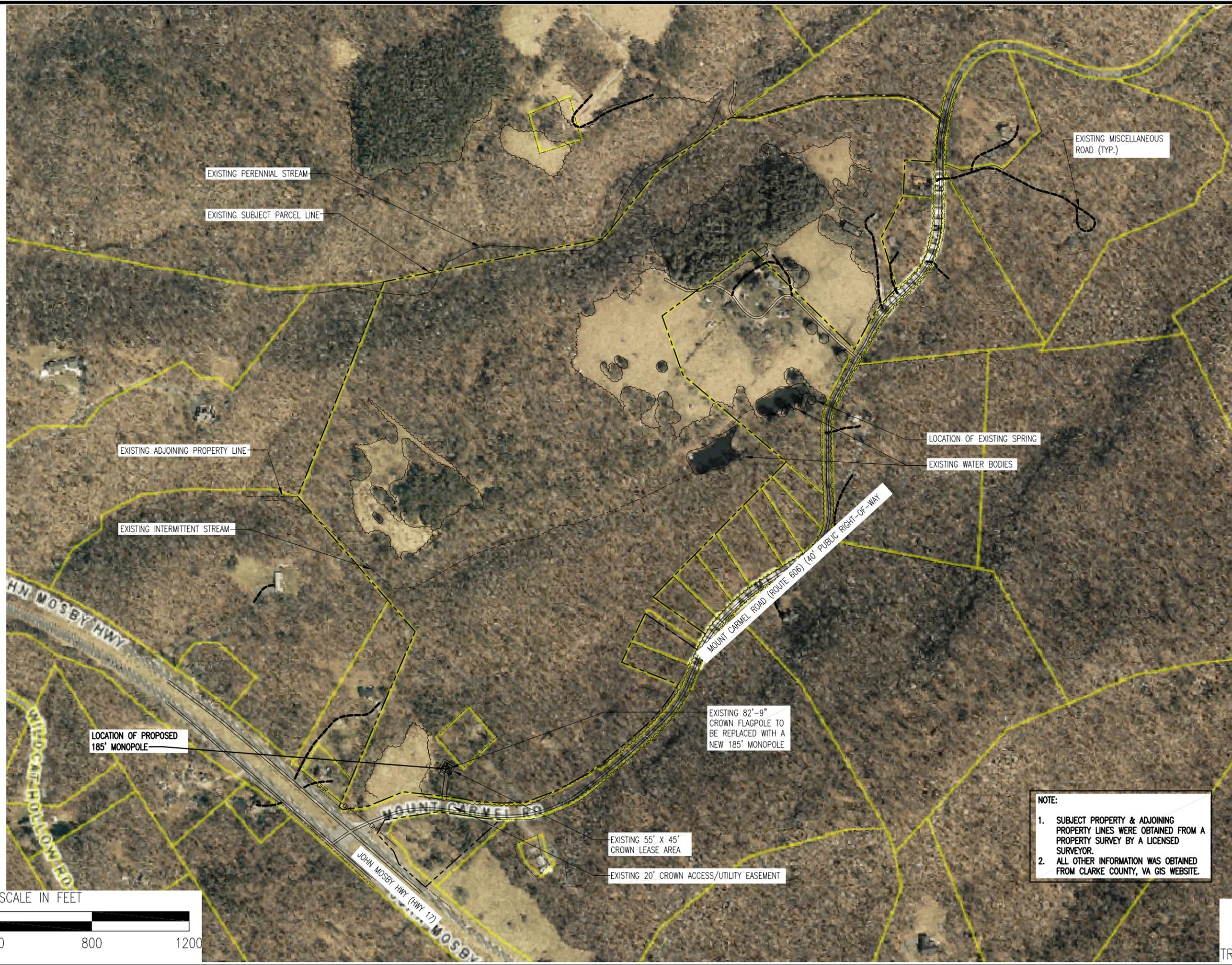
**EXISTING SITE PLAN-DISTANCES**

SHEET NUMBER

**EXISTING SITE PLAN SHOWING DISTANCES TO NEAREST EXISTING STRUCTURES ON ADJACENT PROPERTIES**

SCALE: 1"=400' (11"X17")  
 1"=200' (24"X36")

Y:\Drawings - 2019\Crown\828704 - ATT site - VanKeuren Park\2019 - Rev 1 - 2019-04-15\08.dwg  
 04-17-19 ATESS 12:36:47  
 July 2019 Planning Commission Combined Meeting Packet



NO.	DATE	DESCRIPTION	BY
0	03-01-19	PRELIMINARY ZONING DRAWINGS	AGT
1	03-05-19	FINAL ZONING DRAWINGS	AGT
2	04-23-19	ADDITIONS TO ZONING DRAWINGS	AGT
3	05-29-19	95' TOWER SETBACK	AGT
	06-07-19	92' TOWER FALL ZONE	AGT

DRAWN BY: **AGT**  
 CHECKED BY: **BMQ**  
 DRAWING DATE: **06-07-19**

CARRIER'S NAME

SITE NUMBER:  
 SITE NAME:

SITE NAME

**VANKEUREN - PARIS**

BUSINESS UNIT NUMBER

**828704**

SITE ADDRESS

**653 MOUNT CARMEL RD.  
 PARIS, VA 20130**

SHEET TITLE

**EXISTING SITE PLAN-  
 EXISTING TREE COVERAGE**

SHEET NUMBER

**NOTE:**  
 1. SUBJECT PROPERTY & ADJOINING PROPERTY LINES WERE OBTAINED FROM A PROPERTY SURVEY BY A LICENSED SURVEYOR.  
 2. ALL OTHER INFORMATION WAS OBTAINED FROM CLARKE COUNTY, VA GIS WEBSITE.

Y:\Drawings - 2019\Crown\828704 - ATT Site - VanKeuren Park\2019 - Rev 1 - 2019-04-15\A02.dwg  
 04-23-19 ATESS 10.11.22 July 2019 Planning Commission Combined Meeting Packet

**EXISTING SITE PLAN SHOWING EXISTING TREE COVERAGE & VEGETATION**

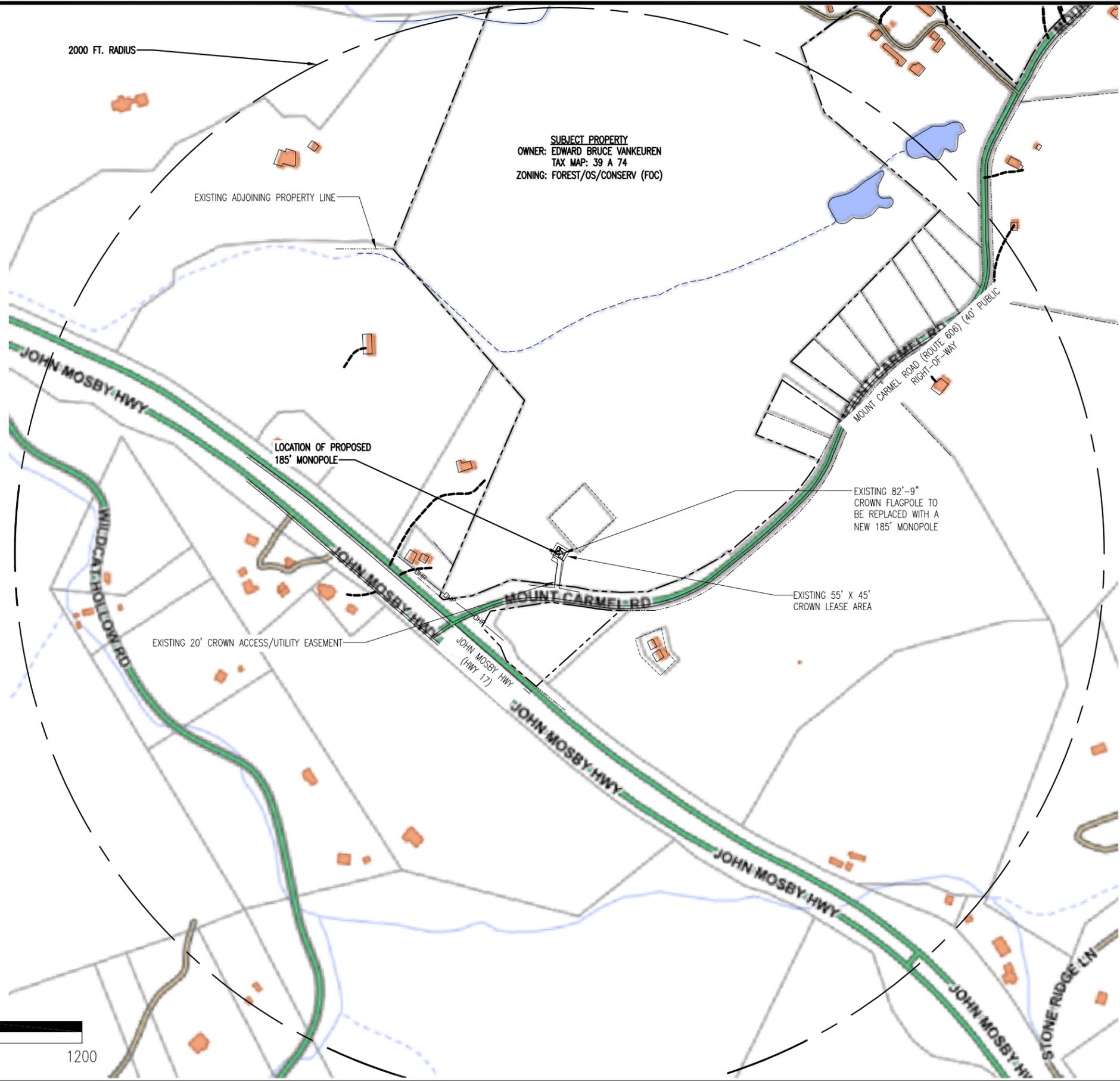
SCALE: 1"=400' (11"X17")  
 1"=200' (24"X36")

**NOTE:**

1. SUBJECT PROPERTY & ADJOINING PROPERTY LINES WERE OBTAINED FROM A PROPERTY SURVEY BY A LICENSED SURVEYOR.
2. ALL OTHER INFORMATION WAS OBTAINED FROM CLARKE COUNTY, VA GIS WEBSITE.

2000 FT. RADIUS

**SUBJECT PROPERTY**  
 OWNER: EDWARD BRUCE VANKEUREN  
 TAX MAP: 39 A 74  
 ZONING: FOREST/OS/CONSERV (FOC)



**CROWN CASTLE**  
 9011 ARBORETUM PARKWAY SUITE 100  
 RICHMOND, VA 23236 TEL: (804) 330-3134

**BC**  
 architects  
 engineers  
 5661 COLUMBIA PIKE, SUITE 200  
 FALLS CHURCH, VA 22041-2868  
 TEL: (703) 671-6000  
 FAX: (703) 671-8300

COMMONWEALTH OF VIRGINIA  
*Chen*  
 CHRISTOPHER D. MORIN  
 6.7.19  
 No. 032984  
 PROFESSIONAL ENGINEER

REVISIONS NO.	DATE	DESCRIPTION	BY
A	03-01-19	PRELIMINARY ZONING DRAWINGS	AGT
0	03-05-19	FINAL ZONING DRAWINGS	AGT
1	04-23-19	ADDITIONS TO ZONING DRAWINGS	AGT
2	05-29-19	95' TOWER SETBACK	AGT
3	06-07-19	92' TOWER FALL ZONE	AGT

DRAWN BY: **AGT**  
 CHECKED BY: **BMQ**  
 DRAWING DATE: **06-07-19**

CARRIER'S NAME

SITE NUMBER:  
 SITE NAME:

SITE NAME

**VANKEUREN - PARIS**

BUSINESS UNIT NUMBER

**828704**

SITE ADDRESS

**653 MOUNT CARMEL RD.  
 PARIS, VA 20130**

SHEET TITLE

**EXISTING SITE PLAN-  
 STRUCTURES W/IN 2,000 FT**

SHEET NUMBER



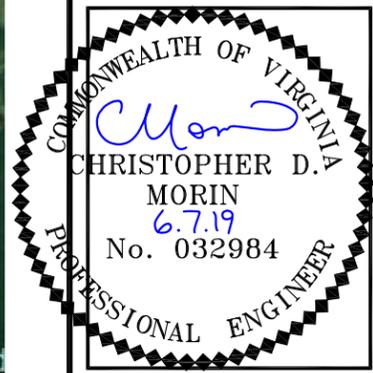
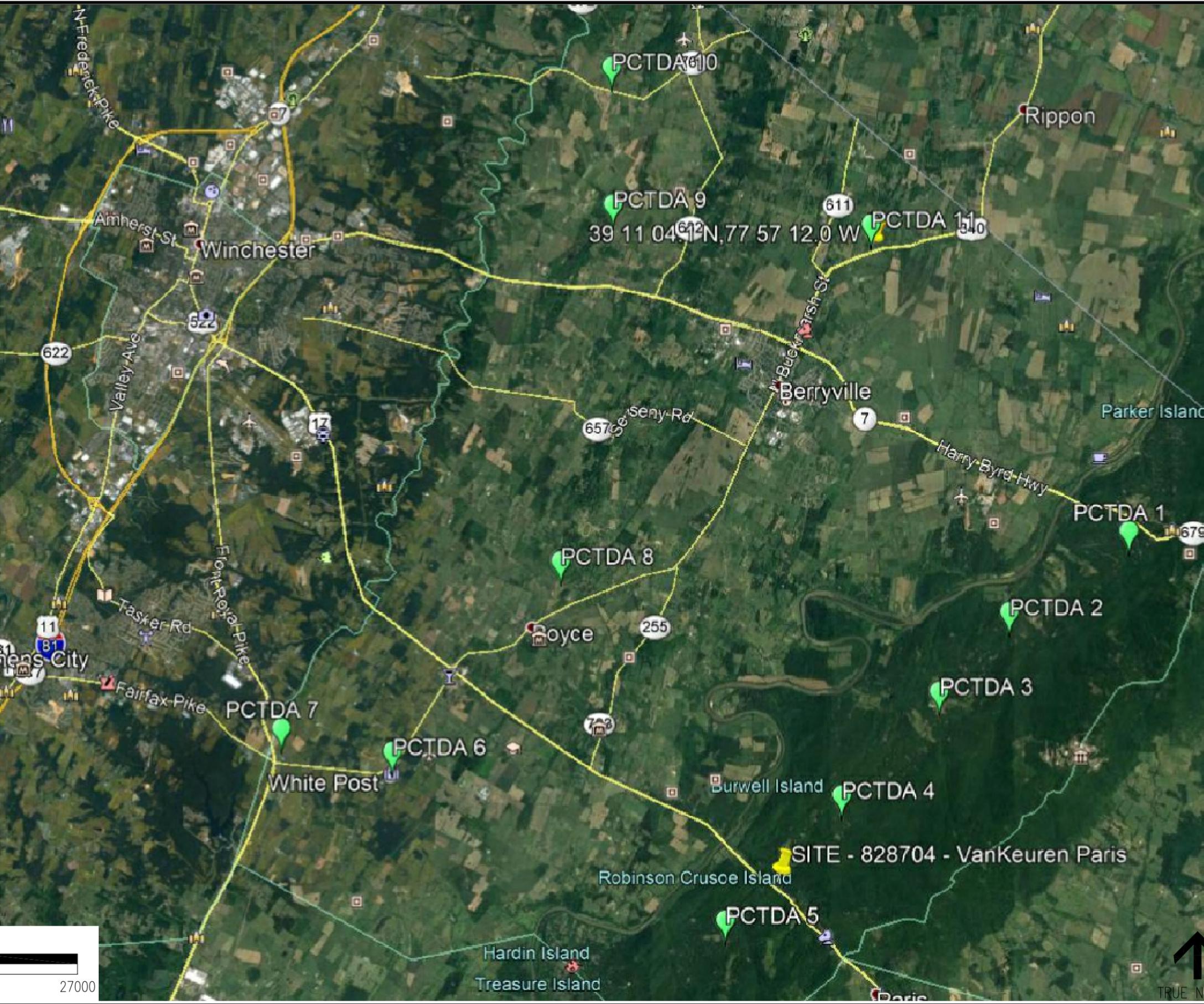
**EXISTING SITE PLAN SHOWING EXISTING STRUCTURES WITHIN 2,000 FT OF PROPOSED WIRELESS COMMUNICATION FACILITY**

SCALE: 1"=400' (11"X17")  
 1"=200' (24"X36")

**1**

Y:\Drawings - 2019\Crown Castle\828704 - ATT 04 - Vankeuren Park\2019 - Rev 1 - 2019-04-15\A01.dwg  
 04-23-19 ATESS 10:13:51

PCTDA	LATITUDE	LONGITUDE	HEIGHT (AGL)
1	39° 06' 37.3 N	77° 52' 21.5 W	120'
2	39° 05' 26.7 N	77° 54' 36.3 W	120'
3	39° 04' 17.8 N	77° 55' 55.1 W	120'
4	39° 02' 47.8 N	77° 57' 45.0 W	120'
5	39° 00' 59.2 N	77° 59' 55.6 W	120'
6	39° 03' 25.0 N	78° 06' 10.7 W	120'
7	39° 03' 45.4 N	78° 08' 15.3 W	120'
8	39° 06' 10.9 N	78° 03' 01.5 W	120'
9	39° 11' 21.4 N	78° 02' 02.9 W	120'
10	39° 13' 21.3 N	78° 02' 04.8 W	120'
11	39° 11' 04.1 N	77° 57' 12.0 W	120'



NO.	DATE	DESCRIPTION	BY
0	03-01-19	PRELIMINARY ZONING DRAWINGS	AGT
1	03-05-19	FINAL ZONING DRAWINGS	AGT
2	04-23-19	ADDITIONS TO ZONING DRAWINGS	AGT
3	05-29-19	95' TOWER SETBACK	AGT
	06-07-19	92' TOWER FALL ZONE	AGT

DRAWN BY: **AGT**  
 CHECKED BY: **BMQ**  
 DRAWING DATE: **06-07-19**

CARRIER'S NAME

SITE NUMBER:  
 SITE NAME:

SITE NAME  
**VANKEUREN - PARIS**

BUSINESS UNIT NUMBER

**828704**

SITE ADDRESS  
**653 MOUNT CARMEL RD.  
 PARIS, VA 20130**

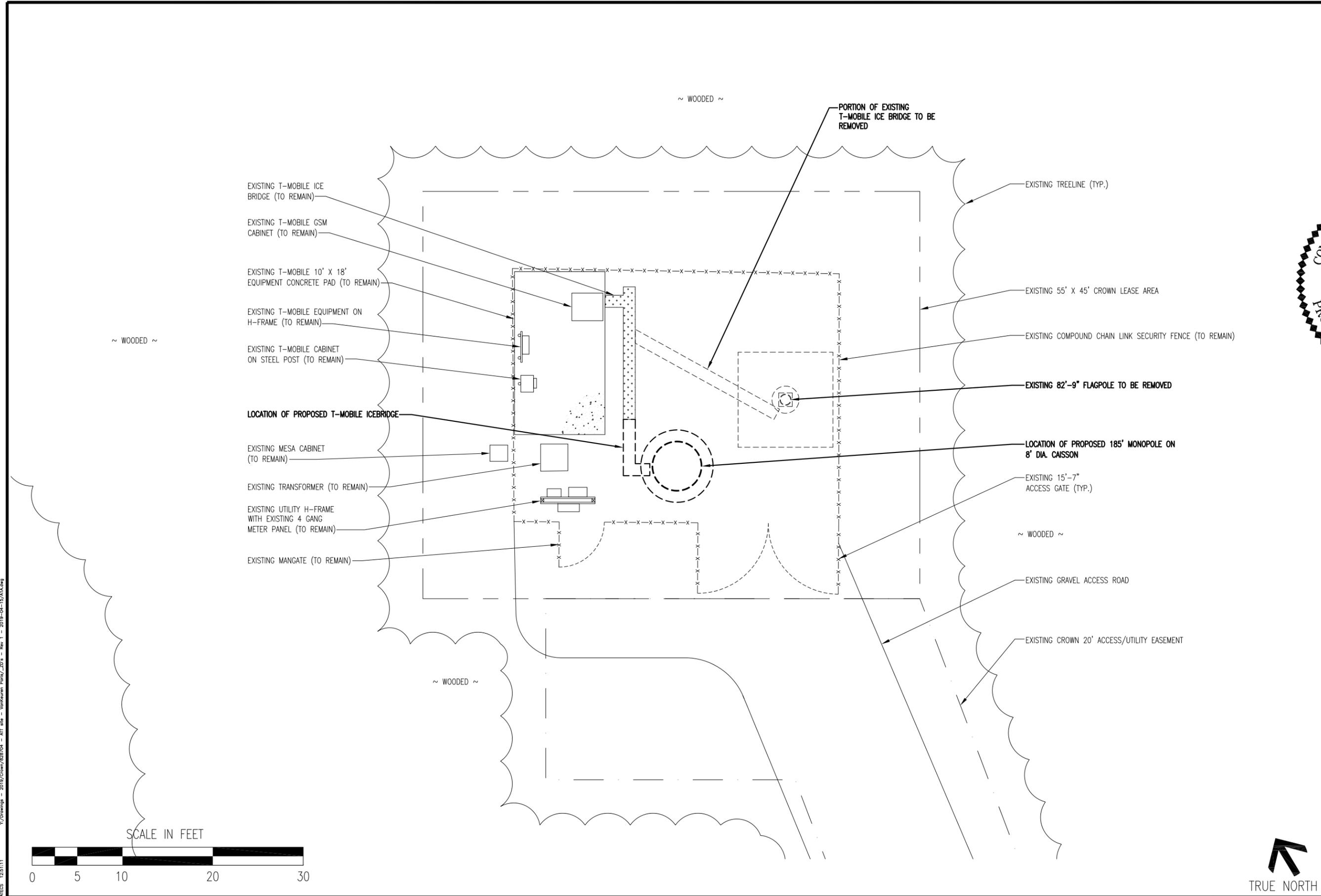
SHEET TITLE  
**EXISTING SITE PLAN-  
 PCTDA PLAN**  
 SHEET NUMBER



**EXISTING SITE PLAN SHOWING PERMITTED COMMERCIAL TOWER DEVELOPMENT AREAS (PCTDA)**

SCALE: 1"=9000' (11"X17")  
 1"=4500' (24"X36")

Y:\Drawings - 2019\Crown\828704 - ATT Site - VanKeuren Paris\2019 - Rev 1 - 2019-04-15\A0E.dwg  
 04-22-19 ATESS 16:47:38



REVISIONS NO.	DATE	DESCRIPTION	BY	AGT
0	03-01-19	PRELIMINARY ZONING DRAWINGS	AGT	
1	03-05-19	FINAL ZONING DRAWINGS	AGT	
2	04-23-19	ADDITIONS TO ZONING DRAWINGS	AGT	
3	05-29-19	95' TOWER SETBACK	AGT	
	06-07-19	92' TOWER FALL ZONE	AGT	

DRAWN BY: **AGT**  
 CHECKED BY: **BMQ**  
 DRAWING DATE: **06-07-19**

CARRIER'S NAME

SITE NUMBER:  
 SITE NAME:

SITE NAME  
**VANKEUREN - PARIS**

BUSINESS UNIT NUMBER  
**828704**

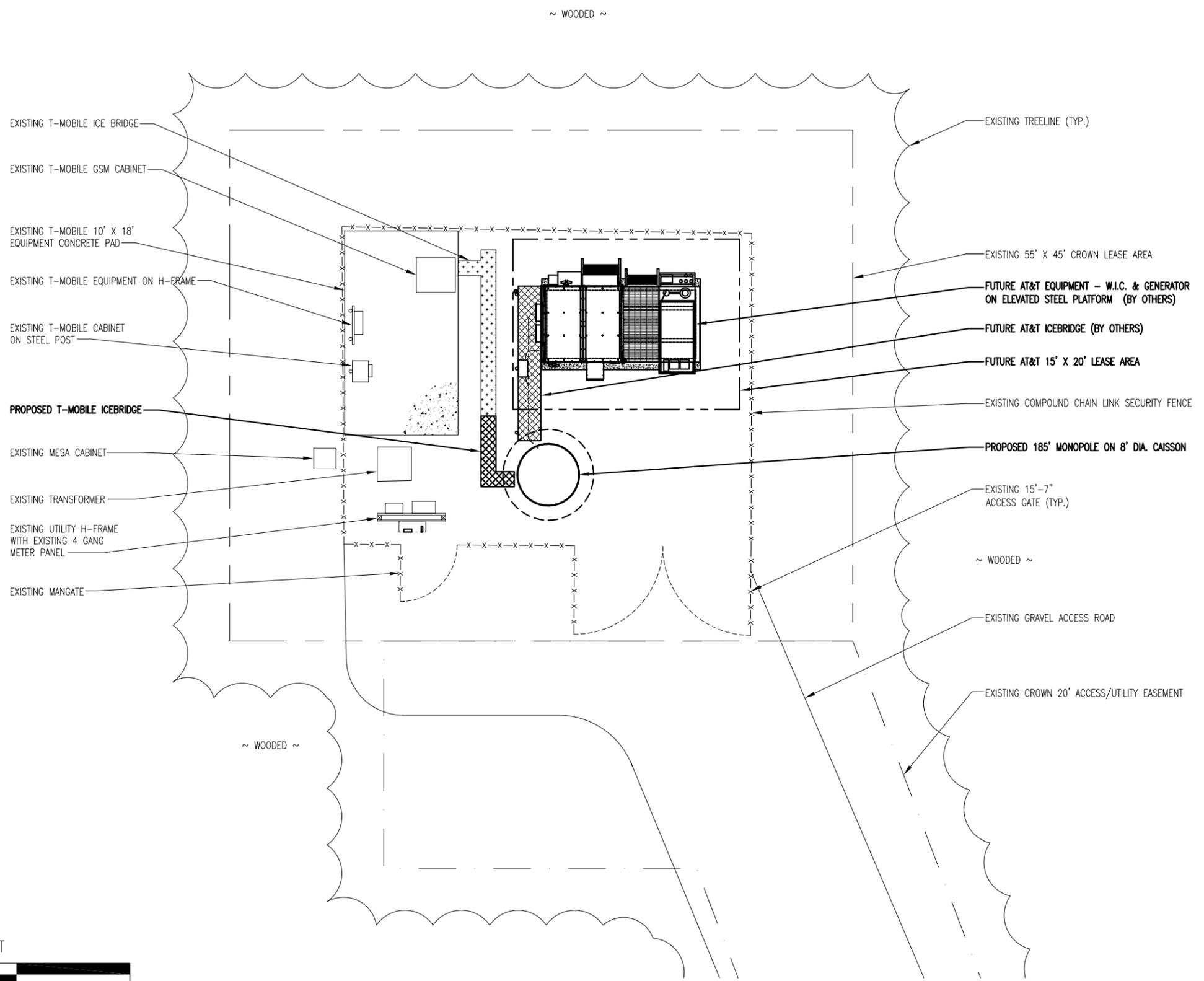
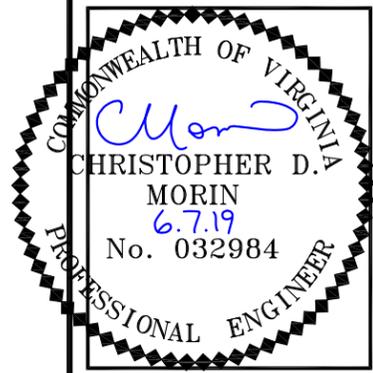
SITE ADDRESS  
**653 MOUNT CARMEL RD.  
 PARIS, VA 20130**

SHEET TITLE  
**COMPOUND  
 PLAN-EXISTING**  
 SHEET NUMBER

**COMPOUND PLAN - EXISTING**

SCALE: 1"=10' (11"X17")  
 1"=5' (24"X36")

Y:\Drawings - 2019\Crown\828704 - AT Site - Vankeuren Park\2019 - Rev 1 - 2019-04-15\A1A.dwg  
 04-22-19 ATESS 12:51:11



~ WOODED ~

~ WOODED ~

~ WOODED ~

~ WOODED ~



REVISIONS NO.	DATE	DESCRIPTION	BY	AGT	ACT	ACT	ACT	ACT	ACT
1	03-01-19	PRELIMINARY ZONING DRAWINGS	AGT						
2	03-05-19	FINAL ZONING DRAWINGS	AGT						
3	04-23-19	ADDITIONS TO ZONING DRAWINGS	AGT						
4	05-29-19	95' TOWER SETBACK	AGT						
5	06-07-19	92' TOWER FALL ZONE	AGT						

DRAWN BY: **AGT**  
 CHECKED BY: **BMQ**  
 DRAWING DATE: **06-07-19**

CARRIER'S NAME

SITE NUMBER:  
 SITE NAME:

SITE NAME  
**VANKEUREN - PARIS**

BUSINESS UNIT NUMBER  
**828704**

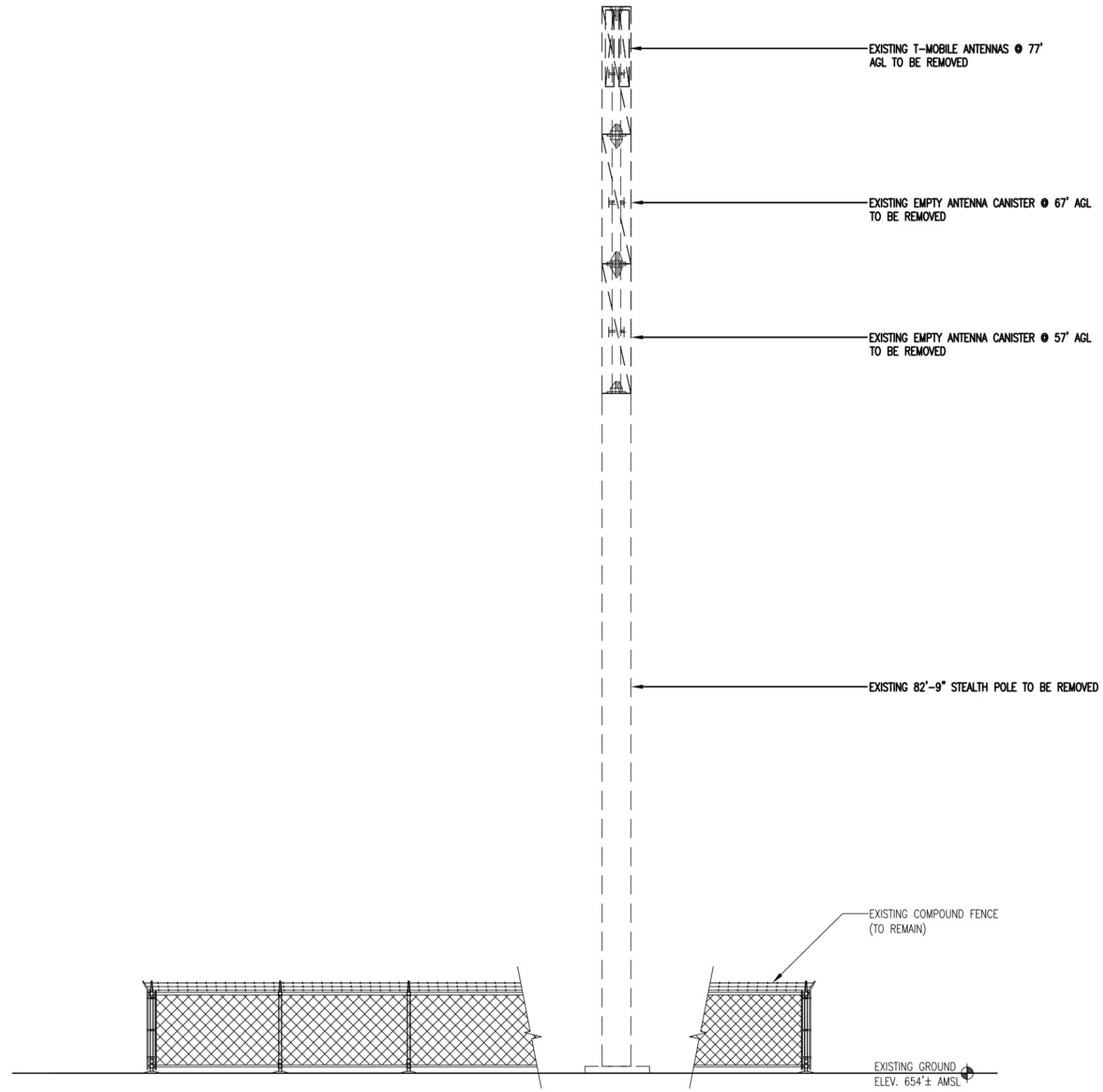
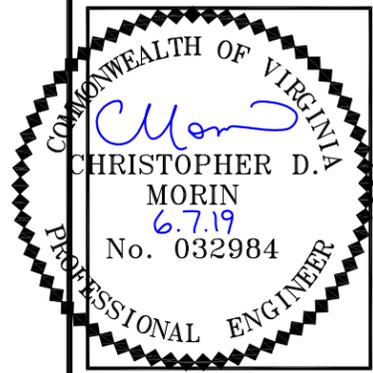
SITE ADDRESS  
**653 MOUNT CARMEL RD.  
 PARIS, VA 20130**

SHEET TITLE  
**COMPOUND  
 PLAN-PROPOSED**  
 SHEET NUMBER

**COMPOUND PLAN - PROPOSED**

SCALE: 1"=15' (11"X17")  
 1"=7.5' (24"X36")

**1**



REVISIONS NO.	DATE	DESCRIPTION	BY
A	03-01-19	PRELIMINARY ZONING DRAWINGS	AGT
0	03-05-19	FINAL ZONING DRAWINGS	AGT
1	04-23-19	ADDITIONS TO ZONING DRAWINGS	AGT
2	05-29-19	95' TOWER SETBACK	AGT
3	06-07-19	92' TOWER FALL ZONE	AGT

DRAWN BY: **AGT**  
 CHECKED BY: **BMQ**  
 DRAWING DATE: **06-07-19**

CARRIER'S NAME

SITE NUMBER:  
 SITE NAME:

SITE NAME  
**VANKEUREN - PARIS**

BUSINESS UNIT NUMBER  
**828704**

SITE ADDRESS  
**653 MOUNT CARMEL RD.  
 PARIS, VA 20130**

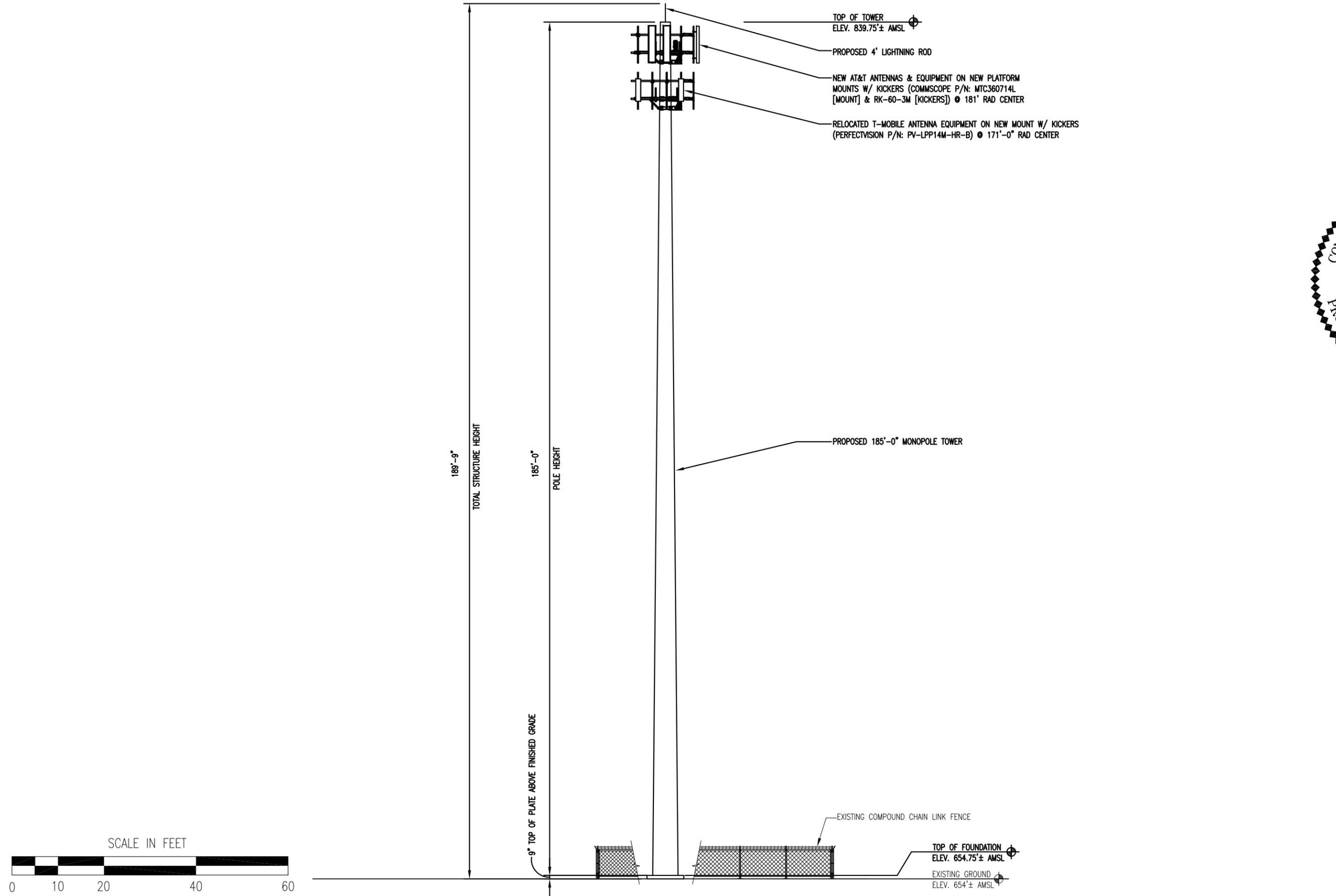
SHEET TITLE  
**EXISTING TOWER ELEVATION**  
 SHEET NUMBER

**EXISTING TOWER ELEVATION**

SCALE: 1"=10' (11"X17")  
 1"=5' (24"X36")

Y:\Drawings - 2019\Crown\828704 - ATT Site - Vankeuren Park\2019 - Rev 0 - 2019-05-05\2019.dwg  
 03-05-19 ATESS 15:38:28

Y:\Drawings - 2019\Crow/Crow/252704 - ATT Site - Vankeuren Park/2019 - Rev 0 - 2019-05-05/252704.dwg  
 03-05-19 ATECS 16:45:08



PROPOSED TOWER ELEVATION

SCALE: 1"=20' (11"X17")  
 1"=10' (24"X36")

1

**CROWN CASTLE**  
 9011 ARBORETUM PARKWAY SUITE 100  
 RICHMOND, VA 23236 TEL: (804) 330-3134

**BC**  
 architects  
 engineers  
 5661 COLUMBIA PIKE, SUITE 200  
 FALLS CHURCH, VA 22041-2668  
 TEL: (703) 671-6000  
 FAX: (703) 671-8300

COMMONWEALTH OF VIRGINIA  
*Chen*  
 CHRISTOPHER D. MORIN  
 6.7.19  
 No. 032984  
 PROFESSIONAL ENGINEER

REVISIONS	NO.	DATE	DESCRIPTION	BY	AGT
	A	03-01-19	PRELIMINARY ZONING DRAWINGS	AGT	AGT
	0	03-05-19	FINAL ZONING DRAWINGS	AGT	AGT
	1	04-23-19	ADDITIONS TO ZONING DRAWINGS	AGT	AGT
	2	05-29-19	95' TOWER SETBACK	AGT	AGT
	3	06-07-19	92' TOWER FALL ZONE	AGT	AGT

DRAWN BY: **AGT**  
 CHECKED BY: **BMQ**  
 DRAWING DATE: **06-07-19**

CARRIER'S NAME

SITE NUMBER:  
 SITE NAME:

SITE NAME

VANKEUREN - PARIS

BUSINESS UNIT NUMBER

828704

SITE ADDRESS

653 MOUNT CARMEL RD.  
 PARIS, VA 20130

SHEET TITLE

PROPOSED TOWER  
 ELEVATION

SHEET NUMBER

# PV-LPP L.I.F.E. MOUNT™ LOW PROFILE PLATFORM

TABLE 1: PLATFORM CONFIGURATIONS

PART NUMBER	DESCRIPTION	MIN POLE OD	MAX POLE OD	WEIGHT (LBS)	INCLUDED PARTS									
					PIPE-312X150	PIPE-312X174	PIPE-238X150	PIPE-238X174	PV-RM1045	PV-RM3060	PV-LPPI2-01	PV-LPPI4-01	PV-LPPH	PV-PHIK12-B
PV-LPP12M-B	12'6" FACE PLATFORM	10"	34"	1267	3	-	-	-	1	-	3	-	1	0
PV-LPP14M-B	14'6" FACE PLATFORM	10"	35"	1365	-	3	-	-	1	-	-	3	1	0
PV-LPP14L-B	14'6" FACE PLATFORM, LARGE POLE	33"	60"	1370	-	3	-	-	1	3	-	1	0	
PV-LPP12M-HR-B	12'6" FACE PLATFORM W/ HANDRAIL	10"	34"	1522	3	-	3	-	1	-	3	-	1	1
PV-LPP14M-HR-B	14'6" FACE PLATFORM W/ HANDRAIL	10"	35"	1641	-	3	-	3	1	-	-	3	1	1
PV-LPP14L-HR-B	14'6" FACE PLATFORM W/ HANDRAIL, LARGE POLE	33"	60"	1647	-	3	-	3	-	1	3	-	1	1

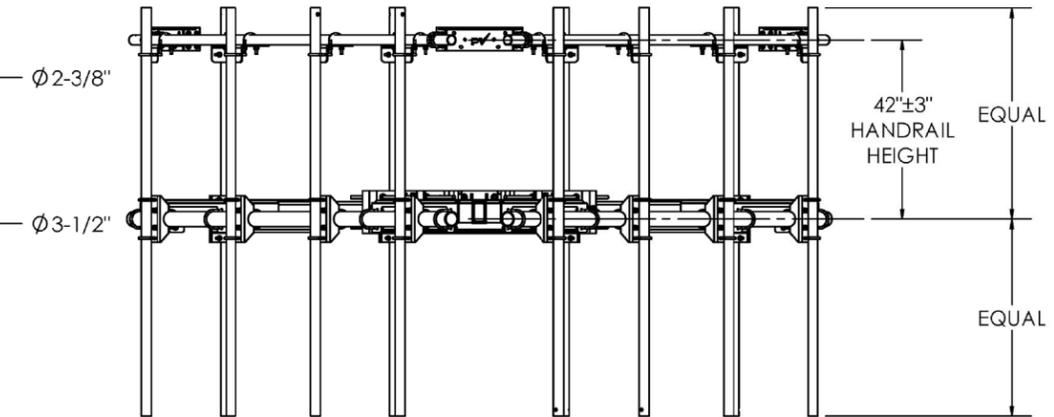
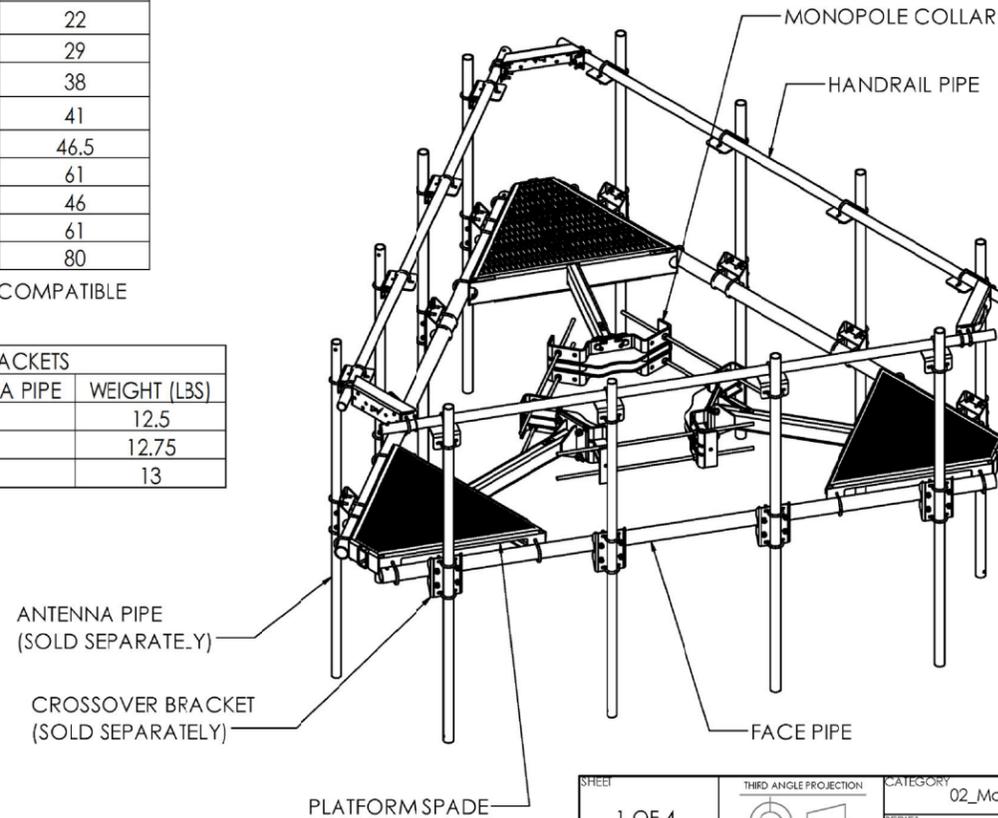
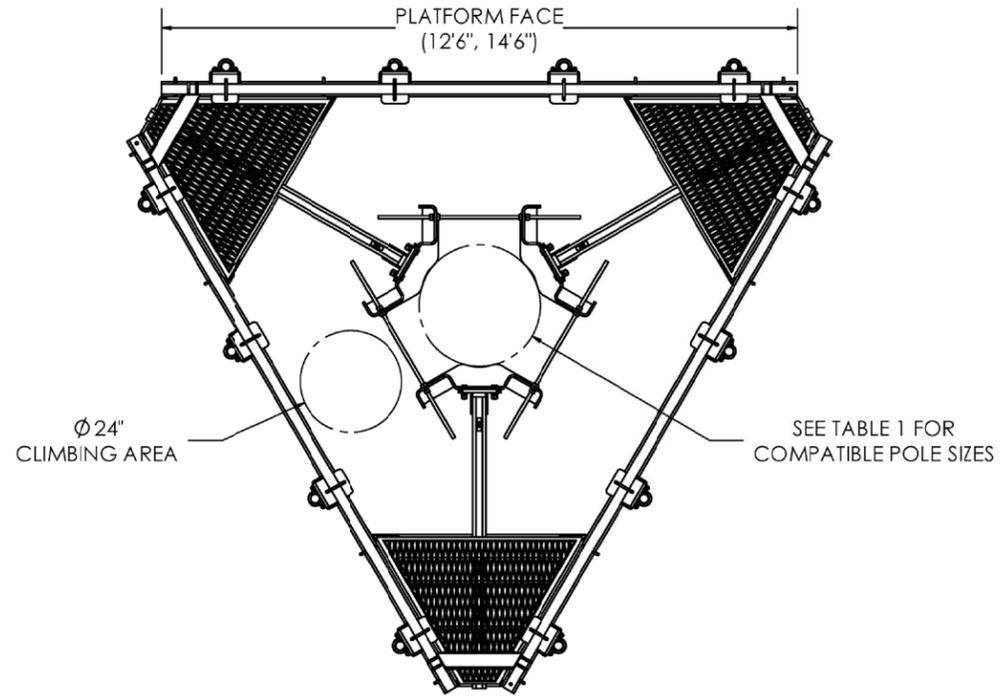
TABLE 2: ANTENNA PIPE OPTIONS\*\*\*

OD	LENGTH	ANTENNA PIPE	WEIGHT (LBS)
2-3/8"	72"	PIPE-238X72	22
	96"	PIPE-238X96	29
	126"	PIPE-238X126	38
2-7/8"	84"	PIPE-278X84	41
	96"	PIPE-278X96	46.5
	126"	PIPE-278X126	61
3-1/2"	72"	PIPE-312X72	46
	96"	PIPE-312X96	61
	126"	PIPE-312X126	80

\*\*\*PLATFORM WITH HANDRAIL KITS ARE COMPATIBLE WITH 2-3/8" OD HANDRAIL PIPE ONLY

TABLE 3: CROSSOVER BRACKETS

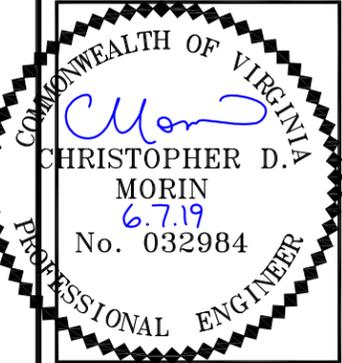
PART NUMBER	COMPATIBLE ANTENNA PIPE	WEIGHT (LBS)
PV-XP-2030-HD	2-3/8" OD	12.5
PV-XP-2530-HD	2-7/8" OD	12.75
PV-XP-3030-HD	3-1/2" OD	13



SHEET	THIRD ANGLE PROJECTION	CATEGORY	DATE	DESCRIPTION	DATE
1 OF 4		02_Monopole	7	UPDATED LOADING, TEMPLATE	1/16/18
		01_Triangular	6	VZW LOADING	1/19/17
7/12/2018	SCALE 1:36	PV-LPP_LIFE Mount	5	HEAVY-S LOADING	6/13/16
DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE ±1/4°, BEND ±2° ALL OTHERS: ±1/16"		BY DJN	4	L.I.F.E. MOUNT™ UPDATE	2/22/16
		CHECKED SJS	3	REDESIGNED COLLAR	12/30/15
		STATUS APPROVED	REV	DESCRIPTION	DATE



L.I.F.E. MOUNT™ LOW PROFILE PLATFORM	REV 7
DOCUMENT NUMBER	LPP-ENG-01-R7



NO.	DATE	DESCRIPTION	BY	AGT	ACT	AGT	ACT	AGT	ACT
1	03-01-19	PRELIMINARY ZONING DRAWINGS							
2	03-05-19	FINAL ZONING DRAWINGS							
3	04-23-19	ADDITIONS TO ZONING DRAWINGS							
4	05-29-19	95' TOWER SETBACK							
5	06-07-19	92' TOWER FALL ZONE							

DRAWN BY: AGT  
CHECKED BY: BMQ  
DRAWING DATE: 06-07-19

CARRIER'S NAME: \_\_\_\_\_  
 SITE NUMBER: \_\_\_\_\_  
 SITE NAME: \_\_\_\_\_  
 VANKEUREN - PARIS  
 BUSINESS UNIT NUMBER: \_\_\_\_\_  
 828704  
 SITE ADDRESS: \_\_\_\_\_  
 653 MOUNT CARMEL RD.  
 PARIS, VA 20130

SHEET TITLE: PROPOSED T-MOBILE ANTENNA MOUNT  
 SHEET NUMBER: \_\_\_\_\_

PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF PERFECTVISION MFG. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF PERFECTVISION MFG IS PROHIBITED.

## PROPOSED T-MOBILE ANTENNA MOUNT DETAILS

SCALE: N.T.S.

C:\P\MS\leel\pvm\_Sales\_Catalog\SW Working Files\Engineering Details\...  
 Y:\Drawings - 2019\Crow\828704 - ATT - Site - Vankeuren Park\2019 - Rev A - 2019-03-01\A3.dwg  
 03-01-19 ATECS 16:55:33

# MOUNT CLASSIFICATIONS:

REFERENCE STRUCTURAL LETTER (LPP-STL-01-R1) FOR ADDITIONAL LOADING REQUIREMENTS

## MOUNT CLASSIFICATION INFORMATION:

- MAX STRUCTURE HEIGHT: 400ft
- STRUCTURE CLASS: I OR II
- EXPOSURE CATEGORY: B OR C
- TOPOGRAPHIC CATEGORY: 1
- DESIGN WIND PRESSURE (NO ICE): 135psf
- DESIGN WIND PRESSURE (ICED): 15psf
- DESIGN ICE THICKNESS: 2.75in Radial

## APPROVED MOUNT CLASSIFICATIONS\*

APPROVED MOUNT CLASSIFICATIONS (4 PIPE)						
		REQUIRED EXTREME WIND LOAD (LBS)				
		700	750	1150	1550	1800
REQUIRED EXTREME ICE LOAD (LBS)	0	M750R(0)-4[6]	M750R(0)-4[6]	M1150R(0)-4[6]	M1550R(0)-4[6]	M1800R(0)-4[6]
	600	M750R(600)-4[6]	M750R(600)-4[6]	M1150R(600)-4[6]	M1550R(600)-4[6]	M1800R(600)-4[6]
	800	M750R(800)-4[6]	M750R(800)-4[6]	M1150R(800)-4[6]	M1550R(800)-4[6]	M1800R(800)-4[6]
	1100	M750R(1100)-4[6]	M750R(1100)-4[6]	M1150R(1100)-4[6]	M1550R(1100)-4[6]	M1800R(1100)-4[6]
	1250	M750R(1250)-4[6]	M750R(1250)-4[6]	M1150R(1250)-4[6]	M1550R(1250)-4[6]	M1800R(1250)-4[6]

- HEAVY-5

APPLIES TO ALL PV-LPP12M, PV-LPP14M, AND PV-LPP14L SERIES PLATFORMS WITH ANTENNAS AND APPURTENANCES SYMMETRICALLY MOUNTED ABOUT THE PLATFORM CENTERLINE.

## POLE THICKNESS LIMITATIONS:

ON POLES WITH WALL THICKNESS EQUAL TO OR GREATER THAN THE VALUES LISTED BELOW, THE PERFECT VISION PV-LPP MOUNT SERIES IS STRUCTURALLY CAPABLE OF SUPPORTING THE ABOVE LOADING SCENARIOS WITHOUT THE NEED FOR AN ADDITIONAL KICKER BRACE.

FOR THIN WALL POLES, USE PV-PKBK PLATFORM KICKER BRACE TO AVOID POLE CRIMPING FAILURES. KICKER BRACE CAN BE INSTALLED ABOVE OR BELOW PLATFORM.

POLE THICKNESS LIMITATIONS	
MOUNT CLASSIFICATION	MINIMUM POLE THICKNESS
M750R-4[6]	1/4"
M800R-4[6]	1/4"
M900R-4[6]	1/4"
M950R-4[6]	1/4"
M1000R-4[6]	5/16"
M1400R-4[6]	5/16"
M1000R(i)-4[6]	5/16"
M1150R(i)-4[6]	5/16"

## PLATFORM EPA:

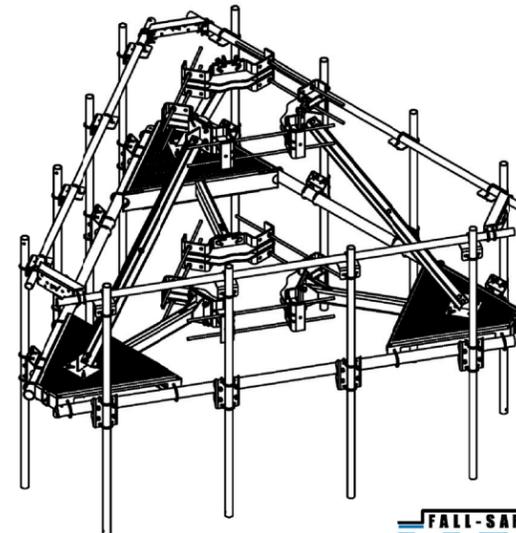
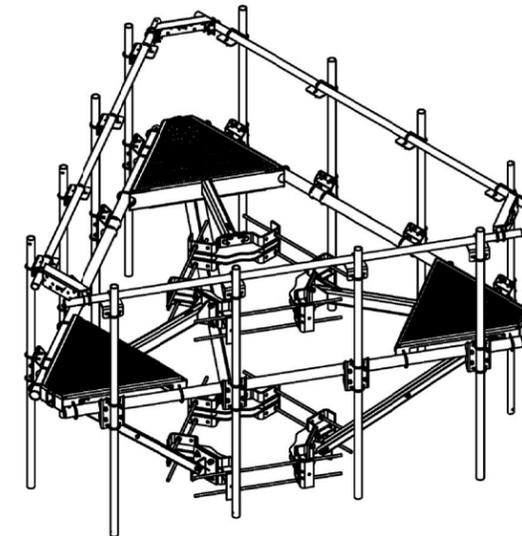
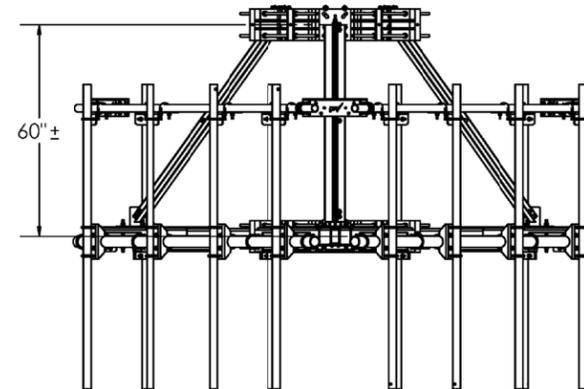
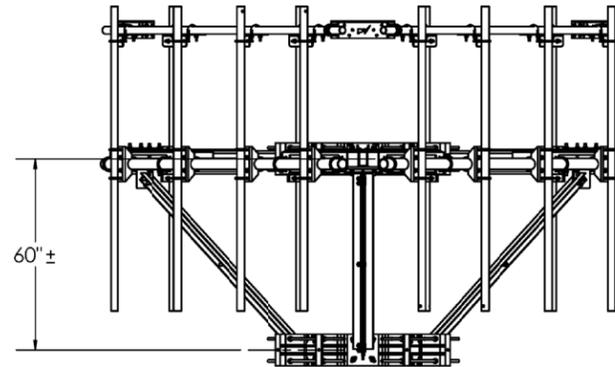
PLATFORM EPA		
PLATFORM TYPE	NO ICE (FT <sup>2</sup> )	1/2" RADIAL ICE (FT <sup>2</sup> )
12'6" FACE	20.3*	25.8*
12'6" FACE WITH HANDRAIL	34.4**	43.0**
14'6" FACE	22.1*	28.1*
14'6" FACE WITH HANDRAIL	36.8**	46.2**

\*DOES NOT INCLUDE CROSSOVER PLATES OR ANTENNA PIPES  
 \*\*DOES NOT INCLUDE ANTENNA PIPES

# KICKER ATTACHMENT:

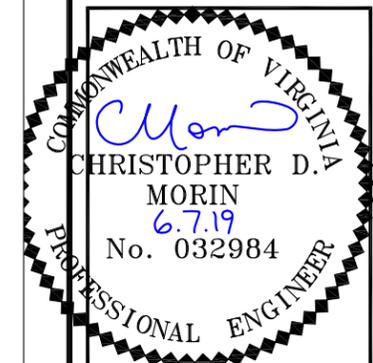
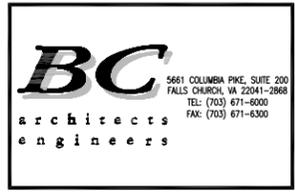
SEE CLASSIFICATIONS SECTION FOR KICKER REQUIREMENT DETAILS.

INSTALL KICKER ABOVE OR BELOW PLATFORM



SHEET	2 OF 4	THIRD ANGLE PROJECTION	CATEGORY	02_Monopole	7	UPDATED LOADING, TEMPLATE	1/16/18
			SERIES	01_Triangular	6	V2W LOADING	1/19/17
			TYPE	PV-LPP_LIFE Mount	5	HEAVY-S LOADING	6/13/16
			BY	DJN	4	L.I.F.E. MOUNT™ UPDATE	2/22/16
			CHECKED	SJS	3	REDESIGNED COLLAR	12/30/15
			STATUS	APPROVED	REV	DESCRIPTION	DATE
DIMENSIONS ARE IN INCHES TOLERANCES U.N.O. HOLES: +1/16", -1/32" ANGULAR: PROFILE ±1/4", BEND ±2" ALL OTHERS: ±1/16"			L.I.F.E. MOUNT™ LOW PROFILE PLATFORM		DOCUMENT NUMBER		REV
				LPP-ENG-01-R7		7	

PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF PERFECTVISION MFG. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF PERFECTVISION MFG IS PROHIBITED.



NO.	DATE	DESCRIPTION	BY	AGT	ACT	ACT	ACT	ACT
1	03-01-19	PRELIMINARY ZONING DRAWINGS						
0	03-05-19	FINAL ZONING DRAWINGS						
1	04-23-19	ADDITIONS TO ZONING DRAWINGS						
2	05-29-19	95' TOWER SETBACK						
3	06-07-19	92' TOWER FALL ZONE						

DRAWN BY: AGT  
 CHECKED BY: BMQ  
 DRAWING DATE: 06-07-19

CARRIER'S NAME

SITE NUMBER:  
 SITE NAME:

SITE NAME

VANKEUREN - PARIS

BUSINESS UNIT NUMBER

828704

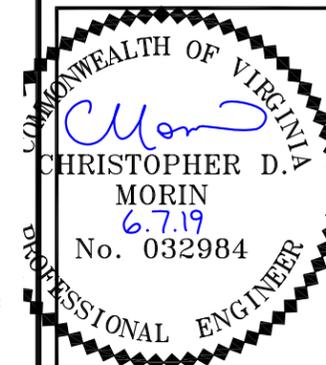
SITE ADDRESS

653 MOUNT CARMEL RD.  
 PARIS, VA 20130

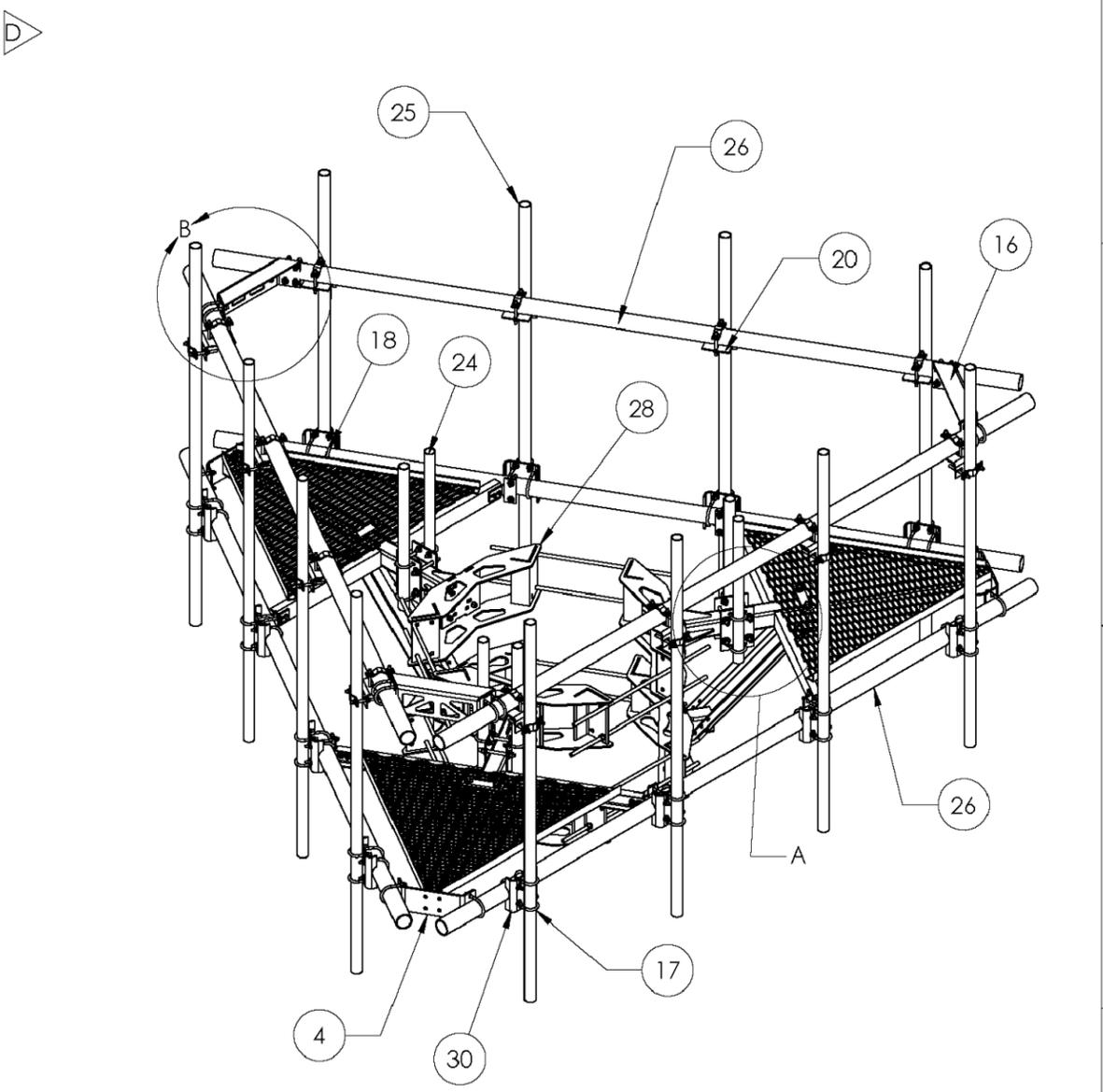
SHEET TITLE

PROPOSED T-MOBILE ANTENNA MOUNT (CONT'D.)  
 SHEET NUMBER

Y:\Drawings - 2019\Comm\828704 - ATT - 2019-04-15\A4.dwg  
 C:\P\Steel\PM Sales Catalog\SW Working Files\Engineering Details\



ITEM	PART NO.	DESCRIPTION	QTY.	WEIGHT
1	MT38440	3/4" X 40" GALV THREADED ROD GRADE B7	12	4.98 LBS
2	GWL-06	3/4" GALV LOCK WASHER	24	0.04 LBS
3	GN-06	3/4" GALV HEX NUT	24	0.12 LBS
4	MTC360701	LOW PROFILE PLATFORM WLDMNT 30-60 RM	3	191.05 LBS
5	MTC306505W	3060 RM Weldment	3	58.21 LBS
6	MTC313802	Kicker Mount Standoff	3	13.08 LBS
7	GB-0520A	5/8" X 2" GALV BOLT KIT (A325)	12	0.26 LBS
8	MTC323718	LEFT KICKER	3	13.66 LBS
9	MTC323719	RIGHT KICKER	3	13.66 LBS
10	MTC323704	Clamp Bar	6	2.37 LBS
11	DCP10	SMALL CLAMP HALF	6	2.21 LBS
12	MT-381-8	5/8" X 8" GALV THREADED ROD	21	0.69 LBS
13	GWF-05	5/8" GALV FLAT WASHER	48	0.06 LBS
14	GWL-05	5/8" GALV LOCK WASHER	42	0.03 LBS
15	GN-05	5/8" GALV HEX NUT	42	0.08 LBS
16	MTC360721	Corner Weldment for 3.5" OD Pipe	3	15.04 LBS
17	GUB-4240	1/2" X 2-1/2" X 4" GALV U-BOLT	36	0.56 LBS
18	GUB-4356	1/2" X 3-5/8" X 6" GALV U-BOLT	24	0.80 LBS
19	GUB-4355	1/2" X 3-5/8" X 5" GALV U-BOLT	24	0.70 LBS
20	XA-U	UNIVERSAL CROSSOVER ANGLE	12	6.85 LBS
21	XP2040.01	CROSSOVER PLATE 2-3/8" O.D. TO 4-1/2" O.D.	6	7.13 LBS
22	GB-04145	1/2" X 1-1/2" GALV BOLT KIT	12	0.13 LBS
23	GWF-04	1/2" GALV FLAT WASHER	12	0.03 LBS
24	MT-649	2 3/8" x 36" Pipe	6	10.90 LBS
25	MT-651-96	Ø2.375" OD X 96" PIPE	12	29.07 LBS
26	MT-547-174	3.5" O.D. X 174" PIPE	6	109.27 LBS
27	GB-0522A	5/8" X 2-1/4" GALV. BOLT KIT (A325)	12	0.30 LBS
28	RM3060305	30-60 3 SECTOR RM WLDMNT	3	76.86 LBS
29	MT19617	MT196 Pipe Mount Plate	6	2.49 LBS
30	MT21701	PIPE MOUNT PLATE	12	7.93 LBS



- NOTES:**
1. ALL METRIC DIMENSIONS ARE IN BRACKETS.
  2. FITS MONOPOLES Ø30"-60".
  3. SEE SHEET 5 FOR PLATFORM DETAILS.
  4. SEE SHEET 6 FOR FOR MTC3237L KICKER SUPPORT DETAILS.

These drawings and specifications are the proprietary property of CommScope Inc. and may be used only for the specific purpose authorized in writing by CommScope Inc.		DRAWN BY: HC CHECKED BY: TP DATE: 10/28/13 REVISION: D	SHEET: 2 of 6 SCALE: NTS MATERIAL: A36, A500, A529 FINISH: Galv A123 WEIGHT: 2645.74 LBS	PART NUMBER: MTC360714L DESCRIPTION: 30-60 PLATFORM KIT, KICKER, 14' FACE, HD DRAWING TYPE: ASSEMBLY DRAWING
--	--	---	--	--



NO.	DATE	DESCRIPTION	BY	AGT	ACT	ACT	ACT	ACT
1	03-01-19	PRELIMINARY ZONING DRAWINGS						
0	03-05-19	FINAL ZONING DRAWINGS						
1	04-23-19	ADDITIONS TO ZONING DRAWINGS						
2	05-29-19	95' TOWER SETBACK						
3	06-07-19	92' TOWER FALL ZONE						

DRAWN BY: AGT  
 CHECKED BY: BMQ  
 DRAWING DATE: 06-07-19

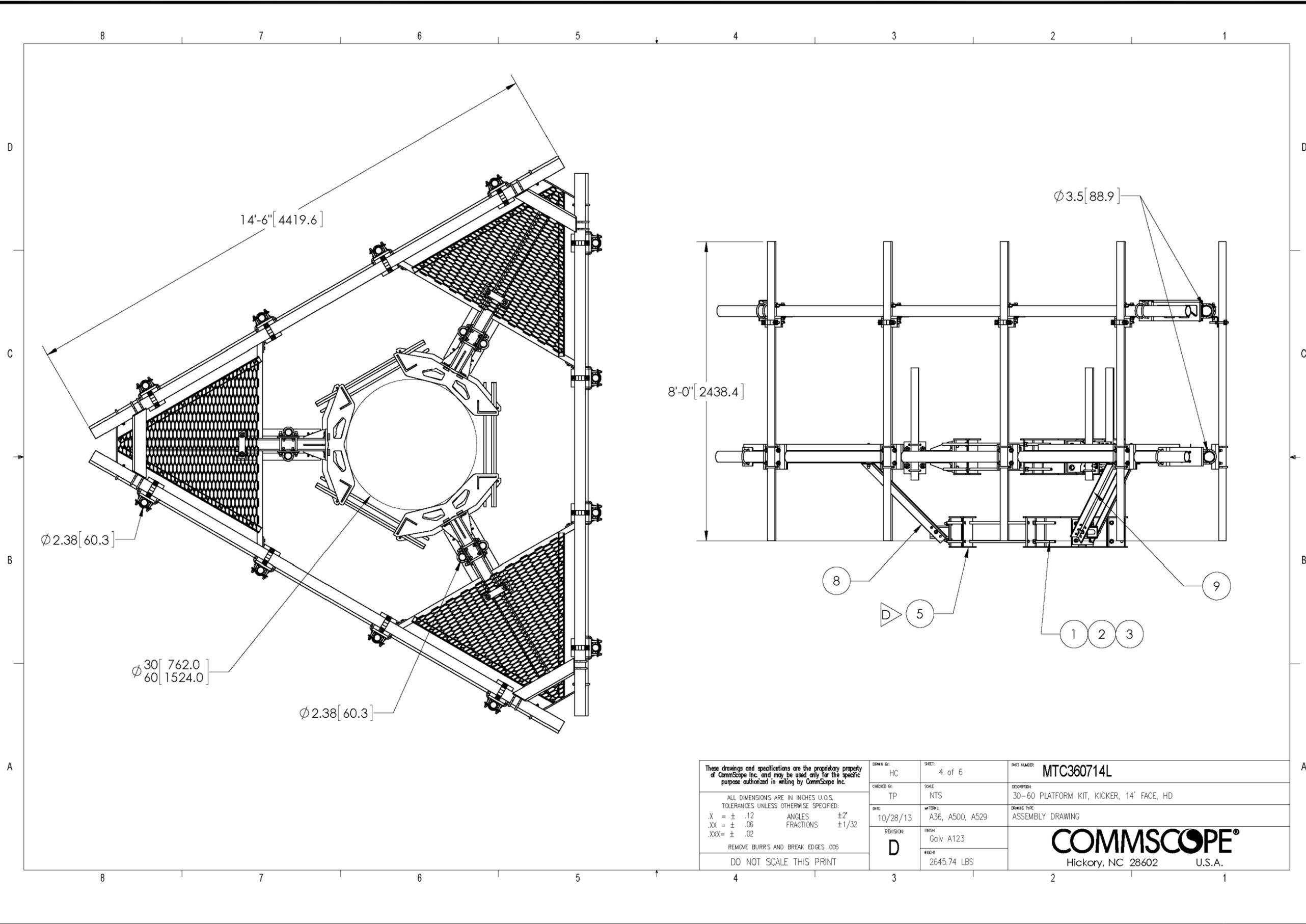
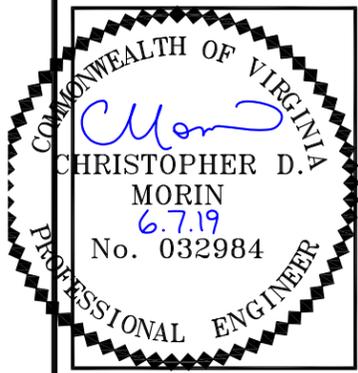
CARRIER'S NAME  
 SITE NUMBER:  
 SITE NAME:  
 VANKEUREN - PARIS

BUSINESS UNIT NUMBER  
 828704  
 SITE ADDRESS  
 653 MOUNT CARMEL RD.  
 PARIS, VA 20130

SHEET TITLE  
**PROPOSED AT&T ANTENNA MOUNT**  
 SHEET NUMBER

**PROPOSED AT&T ANTENNA MOUNT DETAILS**

SCALE: N.T.S.



These drawings and specifications are the proprietary property of CommScope Inc. and may be used only for the specific purpose authorized in writing by CommScope Inc.		DRAWN BY: HC CHECKED BY: TP DATE: 10/28/13 REVISION: D	SHEET: 4 of 6 SCALE: NTS MATERIAL: A36, A500, A529 FINISH: Galv A123 WEIGHT: 2645.74 LBS	PART NUMBER: MTC360714L DESCRIPTION: 30-60 PLATFORM KIT, KICKER, 14' FACE, HD DRAWING TYPE: ASSEMBLY DRAWING
--	--	---	--	--

REVISIONS NO.	DATE	DESCRIPTION	BY	AGT
A	03-01-19	PRELIMINARY ZONING DRAWINGS	AGT	AGT
0	03-05-19	FINAL ZONING DRAWINGS	AGT	AGT
1	04-23-19	ADDITIONS TO ZONING DRAWINGS	AGT	AGT
2	05-29-19	95' TOWER SETBACK	AGT	AGT
3	06-07-19	92' TOWER FALL ZONE	AGT	AGT

DRAWN BY: **AGT**  
 CHECKED BY: **BMQ**  
 DRAWING DATE: **06-07-19**

CARRIER'S NAME: \_\_\_\_\_

SITE NUMBER: \_\_\_\_\_  
 SITE NAME: \_\_\_\_\_

SITE NAME: \_\_\_\_\_  
**VANKEUREN - PARIS**

BUSINESS UNIT NUMBER: \_\_\_\_\_  
**828704**

SITE ADDRESS: \_\_\_\_\_  
**653 MOUNT CARMEL RD.  
 PARIS, VA 20130**

SHEET TITLE: \_\_\_\_\_  
**PROPOSED AT&T ANTENNA MOUNT (CONT'D.)**

SHEET NUMBER: \_\_\_\_\_

Y:\Drawings - 2019\Crown\828704 - ATT Site - Vankeuren Park\2019 - Rev 1 - 2019-04-15\A6.dwg  
 04-23-19 ATESS 10.14.58



**DIVISION 1: STANDARD PROVISIONS**

**GENERAL NOTES**

- DRAWINGS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE DIAGRAMMATIC ONLY. THE WORK INDICATED ON THE DRAWINGS SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT AND APPURTENANCES, AND LABOR NECESSARY TO COMPLETE THE WORK. VERIFY ALL EQUIPMENT LOCATIONS WITH PROJECT MANAGER.
- CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS ON THE JOB SITE AND CONFIRM THAT WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS (ALSO KNOWN AS CONSTRUCTION PLANS) CAN BE ACCOMPLISHED AS SHOWN BEFORE PROCEEDING.
- NOTIFY PROJECT MANAGER OF ANY MAJOR DISCREPANCY REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND OR DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THIS CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK IN QUESTION.
- INSTALL ALL EQUIPMENT AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL VISIT JOB SITE PRIOR TO SUBMITTING A BID TO REVIEW SCOPE OF WORK AND EXISTING SITE CONDITIONS AFFECTING THE PROPOSED PROJECT, INCLUDING BUT NOT LIMITED TO, DEMOLITION, MECHANICAL SERVICE, ELECTRICAL SERVICE, ACCESS ISSUES, DRAINAGE, AND OVERALL COORDINATION.
- ALL TELEPHONE/RADIO EQUIPMENT LAYOUT, SPECIFICATIONS, PERFORMANCE, INSTALLATION AND THEIR FINAL LOCATION ARE TO BE APPROVED BY CCUSA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK AND CLEARANCE REQUIRED BY OTHERS RELATED TO SAID EQUIPMENT.
- ALL WORK PERFORMED AND MATERIALS SHALL MEET THE HIGHEST TRADE STANDARDS. AS A MINIMUM STANDARD, CONFORM WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
- ELECTRICAL SYSTEMS SHALL BE INSTALLED PER N.E.C. AND IN ACCORDANCE WITH ALL APPLICABLE UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- CONTRACTOR SHALL PROVIDE CONTINUOUS SUPERVISION WHILE ANY SUBCONTRACTORS OR WORKMEN ARE ON THE JOB SITE AND SHALL SUPERVISE AND DIRECT ALL WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT. POST PROPER TEMPORARY CONSTRUCTION SIGNAGE WITH EMERGENCY PHONE NUMBERS AND TEMP ASR/FAA NUMBER
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA DURING CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODE REQUIREMENTS.
- CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DURING CONSTRUCTION.
- SEAL ALL PENETRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED OR F.M. APPROVED MATERIALS.
- DETAILS AND SCHEMATICS ARE TO PROPOSE OR SHOW END RESULT OF THE DESIGN. MINOR MODIFICATIONS MAY BE NECESSARY TO SUIT JOB CONDITIONS AND DIMENSIONS. SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK. PRIOR WRITTEN APPROVAL BY CROWN IS REQUIRED.
- VERIFY ALL FINAL EQUIPMENT LOCATIONS WITH OWNER'S REPRESENTATIVE.
- DIMENSIONS ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED.
- CLEANUP AND SAFETY: KEEP PROJECT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND EQUIPMENT REMOVED AND NOT SPECIFIED AS REMAINING THE PROPERTY OF THE OWNER, ETC. LEAVE PREMISES IN A VACUUM AND BROOM CLEAN CONDITION: FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SYSTEMS EQUIPMENT IN A CLEAN WORKING ORDER UNTIL ACCEPTANCE OF THE PROJECT BY PROJECT MANAGER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REDLINING THE CONSTRUCTION PLANS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE. ALL UNDERGROUND UTILITIES AND GROUNDING SHALL BE SHOWN ON REDLINE DRAWINGS AND DIMENSIONED FROM FENCE LINES OR PADS. PHOTOGRAPHS ARE REQUIRED. TWO (2) COPIES OF REDLINED DRAWINGS WILL BE PROVIDED TO CROWN AND ONE (1) TO THE A & E FIRM FOR DEVELOPMENT OF THE AS-BUILD/SURVEY RECORD DOCUMENTS.

**DIVISION 2: SITE WORK-02100**

**EARTHWORK AND DRAINAGE**

- ACCESS ROAD, ENTRANCES, TURNAROUND AREAS, SITE/LEASE AREA AND COMPOUND AREAS ARE TO BE CONSTRUCTED TO PROVIDE PROPER DRAINAGE SO TO ENSURE EASILY MAINTENANCE AND COMPACTED, EVEN AND LEVEL SURFACES FOR CUSTOMER ENJOYMENT AND FUTURE CONSTRUCTION ACTIVITY, MATERIAL AND EQUIPMENT DELIVERIES AND MAINTENANCE PERSONNEL ACCESS.
- VEGETATION CONTROL
  - APPLY SOIL STERILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION (USE AS NEEDED).
  - GRASS SEEDS SHALL BE APPLIED AND MAINTAINED AS RECOMMENDED BY THE SEED PRODUCER (IF REQUIRED).
  - VEGETATION LANDSCAPING, IF INCLUDED WITHIN THE CONTRACT, WILL BE PLACED AND MAINTAINED AS RECOMMENDED BY NURSERY INDUSTRY STANDARDS (IF REQUIRED).
- SEQUENCING
  - CONFIRM SURVEY STAKES AND SET ELEVATIONS PRIOR TO ANY CONSTRUCTION INCLUDING BUT NOT LIMITED TO THE FOLLOWING ITEMS:
    - TOWER PLACEMENTS AND FOUNDATION ELEVATIONS
    - EASEMENTS AND ACCESS CENTER LINES (GC IS RESPONSIBLE FOR ALL OFFSETS)
    - ENTRANCE, RADIUS POINTS AND SETBACK/RIGHT OF WAYS (IF REQUIRED)
    - LEASE AND FENCE CORNERS
    - METER BOARD PLACEMENTS (EACH POST)
    - DRAINAGE ELEVATION AND GRADING STATION ALONG THE ACCESS AND AROUND THE SITE.
    - CONSTRUCTION BENCH MARK AND ELEVATION (NEAR THE SITE) PRIOR TO ANY CONSTRUCTION
    - ACCESS GATE PLACEMENT (IF REQUIRED)
  - THE COMPLETE ROAD AND SITE AREA WILL BE GRUBBED PRIOR TO FOUNDATION CONSTRUCTION OR PLACEMENT OF BACK FILL OR SUB-BASE MATERIAL.
  - CONSTRUCT TEMPORARY CONSTRUCTION ZONE ACCESS DRIVE.
  - THE SITE AREA WILL BE BROUGHT TO SUB-BASE COURSE ELEVATION AND THE ACCESS ROAD TO BASE COURSE ELEVATION PRIOR TO FORMING FOUNDATION.
  - APPLY SOIL STERILIZER PRIOR TO PLACING BASE MATERIALS.
  - GRADE, SEED, FERTILIZE AND MULCH DISTURBED AREAS IMMEDIATELY AFTER BRINGING SITE AND ACCESS ROAD TO BASE COURSE ELEVATION, WATER TO ENSURE GROWTH.
  - REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE TO AN AUTHORIZED AREA OR AS DIRECTED BY PROJECT MANAGER.
  - AFTER COMPLETION OF CONSTRUCTION BUT PRIOR TO THE FINAL PUNCH LIST INSPECTION, APPLY FOUR (4) INCHES OF STONE (1" OR SMALLER WITH FINES AND DUST) TO ALL GRAVELED AREAS (REFER TO GRAVEL PAVEMENT DETAIL).
  - AFTER APPLICATIONS OF FINAL SURFACES, APPLY SOIL STERILIZER TO THE STONE SURFACES.
- GRADING
  - UNIFORMLY GRADE AREA TO BE SMOOTH SURFACE FREE FROM IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTION, TOPO LINES AND ELEVATIONS INDICATED.
    - COMPOUND SURFACE GRADES ARE TO BE SLOPED TO DIRECT WATER AWAY FROM EQUIPMENT AND SHELTERS TO PREVENT STANDING AND PONDING WATER.
    - COMPOUND SURFACE SHALL BE COMPACTED TO A 90% MAXIMUM DRY DENSITY TO ALLOW PROPER STERILIZATION FOR ACCESS TO ALL CUSTOMERS
    - DENSITY TESTING MAY BE REQUIRED AT CROWN'S DISCREPANCY DUE TO QUESTIONABLE COMPACTION OF FINISH SURFACE GRADE OR SUB-GRADE.
    - DITCHES/SWALES AROUND THE COMPOUND AREA AND ALONG ACCESS ROAD. SHALL BE CONSTRUCTED SO TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING GRADES/SLOPE AND NEW PROPOSED GRADES.
    - SITE GRADING AND DRAINAGE SHOULD BE CONSTRUCTED TO PREVENT WATER FROM ENTERING THE COMPOUND SURFACE OR THE ACCESS ROAD SUB-GRADE.
  - MOISTURE CONTROL-UNIFORMLY MOISTEN OR AERATE SUB-GRADE AND EACH SUBSEQUENT FILL OR BACK FILL LAYER BEFORE COMPACTION TO WITHIN 2% OF OPTIMUM MOISTURE CONTENT. DO NOT PLACE BACKFIELD OR FILL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN OR CONTAIN FROST, SNOW OR ICE.
  - STOCKPILING MATERIAL (TOP SOIL OR FILL DIRT) ON SITE, SHOULD BE PLACED IN AND AREA THAT CAN BE CONTROLLED TO PREVENT WATER, SNOW, OR ICE FROM EFFECTING MOISTURE CONTENT. STOCKPILES MAY HAVE TO BE COVERED TO PREVENT ADD MOISTURE SO ACCEPTABLE FILL CAN BE USED.
  - DE-WATERING-PREVENT SURFACE WATER AND SUBSURFACE OR GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUB-GRADE, AND FROM FLOODING PROJECT OR BUILD AREA.
  - EROSION CONTROL-MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
    - ALL INLETS, DRAINS, PIPES, SWELLS, AND ROADS SHALL BE KEPT CLEAN AND FREE OF DIRT AND SILT.
- SUBMITTALS
  - BEFORE CONSTRUCTION
    - IF LANDSCAPING IS APPLICABLE TO THE CONTRACT, TWO COPIES OF THE LANDSCAPE PLAN UNDER NURSERY LETTERHEAD. IF A LANDSCAPE ALLOWANCE WAS INCLUDED IN THE CONTRACT, AN ITEMIZED LISTING OF PROPOSED COSTS UNDER NURSERY LETTERHEAD (REFER TO SITE PLAN FOR LANDSCAPING REQUIREMENTS).
    - SUBMIT FOR APPROVAL, 1/2 CUBIC FOOT OF THE PROPOSED SURFACE COURSE MATERIAL.
  - AFTER CONSTRUCTION
    - MANUFACTURER'S DESCRIPTION OF PRODUCT AND WARRANTY STATEMENT ON SOIL STERILIZED.
    - MANUFACTURER'S DESCRIPTION OF PRODUCT ON GRASS AND FERTILIZER.
    - LANDSCAPING WARRANTY STATEMENT.(SEE LS-1)

**6. PRODUCTS**

- A. MATERIALS**
- FILL MATERIAL - ACCEPTABLE SELECT FILL SHALL BE IN ACCORDANCE WITH (THE STATE DEPARTMENT OF HIGHWAY AND PUBLIC TRANSPORTATION DEPARTMENT STANDARD SPECIFICATION) FOR THE STATE IN WHICH THE TOWER IS TO BE CONSTRUCTED.
  - SOIL STERILIZER SHALL BE EPA REGISTERED, OF LIQUID COMPOSITION AND OF PRE EMERGENCE DESIGN.
  - SOIL STABILIZER FABRIC SHALL BE MIRAFI - 500X.
  - AGGREGATE SIZE IS BASED ON OR EQUAL TO AASHTO STANDARD.
- B. EQUIPMENT**
- COMPACTION SHALL BE ACCOMPLISHED BY MECHANICAL MEANS. SUB-GRADE SHALL BE COMPACTED WITH EQUIPMENT APPROPRIATE FOR TYPE OF SUB-GRADE MATERIAL AND ACHIEVING A RUBBER TIRE PRESSURE OF 60 PSI, SHEEP'S FOOT PRESSURE OF 100 PSI, OR A VIBRATORY ROLLER WEIGHING APPROXIMATELY SIX (6) TONS.
  - SMALLER AREAS SHALL BE COMPACTED BY POWER-DRIVEN, HAND HELD TAMPERS.
  - FINISH GRADE SHALL BE COMPACTED BY SMOOTH DRUM VIBRATOR ROLLERS WEIGHING AT LEAST SIX (6) TONS.
- NOTE: DENSITY TESTING IS REQUIRED ON ACCESS ROADS BOTH SUB-GRADE AND FINISH GRADE. COMPOUND SURFACES ARE ONLY REQUIRED AT CCI DISCREPANCY. TESTING REPORTS SHOULD BE INCLUDED IN THE CLOSE-OUT DOCUMENTS PACKAGE.
- 7. EXECUTION**
- A. INSPECTIONS**
- LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, UNLESS OTHERWISE SPECIFIED BY OWNER OR LOCAL JURISDICTION.
- B. PREPARATION**
- CLEAR TREES (GROUND TO SKY), BRUSH AND DEBRIS FROM SITE AREAS AND ACCESS ROAD RIGHT-OF-WAY AS DIRECTED BY PROJECT MANAGER.
  - PRIOR TO OTHER EXCAVATION AND CONSTRUCTION EFFORTS GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX (6) INCHES BELOW ORIGINAL GROUND LEVEL.
  - UNLESS OTHERWISE INSTRUCTED BY CCUSA, TRANSPORT ALL REMOVED TREE, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.
  - PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL AND COMPACT THE SOIL.
  - WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, REMOVE AND REPLACE WITH SUITABLE SOIL.
- C. INSTALLATION**
- THE SITE AND TURNAROUND AREAS SHALL BE AT THE SUB-BASE COURSE ELEVATION PRIOR TO FORMING FOUNDATIONS. GRADE OR FILL THE SITE AND ACCESS ROAD AS REQUIRED IN ORDER THAT UPON EVEN DISTRIBUTION OF SPOILS RESULTING FROM FOUNDATION EXCAVATIONS THE RESULTING GRADE WILL CORRESPOND WITH SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM FINISHED GRADES OR SLOPES INDICATED.
  - IF ANY, EXCESS SPOILS WILL BE CLEARED FROM JOB SITE AND NOT SPREAD BEYOND THE LIMITS OF LEASE PROPERTY UNLESS AUTHORIZED BY CCUSA / AS AGREEMENT BY LANDOWNER.
  - THE ACCESS ROAD SHALL BE BROUGHT TO BASE COURSE ELEVATION, PRIOR TO FOUNDATION CONSTRUCTION, TO PERMIT USE FOR EQUIPMENT PASSAGE AND OBSERVATION DURING CONSTRUCTION OF THE SITE.
  - AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.
  - WHEN IMPROVING AN EXISTING ACCESS ROAD, GRADE THE EXISTING ROAD TO REMOVE ANY ORGANIC MATTER AND SMOOTH THE SURFACE BEFORE PLACING SIX (6) INCHES OF STONE. ROLL AND COMPACT.
  - PLACE FILL OR STONE IN SIX INCH MAXIMUM LIFTS AND COMPACT BEFORE PLACING NEXT LIFT.
  - THE FINISH GRADE, INCLUDING TOP SURFACE COURSE, SHALL EXTEND A MINIMUM OF TWO FOOT BEYOND THE SITE FENCE AND SHALL COVER THE AREA AS INDICATED.
  - RIPRAP SHALL BE APPLIED TO THE SIDE SLOPES OF ALL FENCED SITE AREAS, PARKING AREAS, AND TO ALL OTHER SLOPES GREATER THAN 2:1.
  - RIPRAP SHALL BE APPLIED TO THE SIDES OF DITCHES OR DRAINAGE SWALES.
  - RIPRAP ENTIRE DITCH FOR SIX FEET IN ALL DIRECTIONS AT CULVERT OPENINGS.
  - SEED, FERTILIZER AND STRAW COVER SHALL BE APPLIED TO ALL OTHER DISTURBED AREAS, AND DITCHES AND DRAINAGE SWALES, NOT OTHERWISE RIPRAPPED.
  - UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO RAILROAD BALLAST. IF DESIGNS OR ELEVATIONS CONFLICT WITH THIS GUIDANCE THE A & E FIRM SHOULD BE ADVISED IMMEDIATELY.
  - IN DITCH LINE WITH SLOPES GREATER THAN TEN PERCENT, MOUND DIVERSIONARY HEADWALLS IN THE DITCH AT CULVERT ENTRANCES. THE HEADWALL SHALL BE POSITIONED AT AN ANGLE NO GREATER THAN 60 DEGREES OFF THE DITCH LINE. RIPRAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX FEET ABOVE THE CULVERT ENTRANCE. AND EXITS.
- D. WARRANTY**
- IN ADDITION TO THE WARRANTY ON ALL CONSTRUCTION COVERED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPAIR ALL DAMAGE AND REPAIR AREA BACK AS CLOSE TO ORIGINAL CONDITION AS POSSIBLE TO LEASE AREA PROPERTY OR SURROUNDING CAUSED BY CONSTRUCTION.
  - SOIL STERILIZATION APPLICATION WILL GUARANTEE VEGETATION FREE ROAD AND SITE AREAS FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
  - DISTURBED AREAS WILL REFLECT GROWTH OF NEW GRASS COVER PRIOR TO FINAL INSPECTION.
  - LANDSCAPING, IF INCLUDED WITHIN THE SCOPE OF THE CONTRACT, WILL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL INSPECTION.

**E. DEMOLITION**

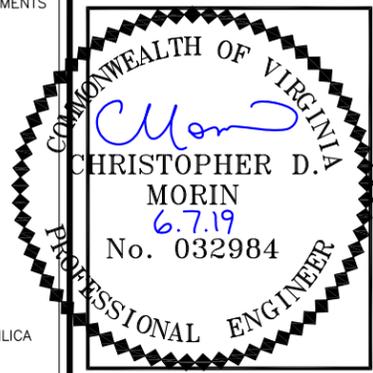
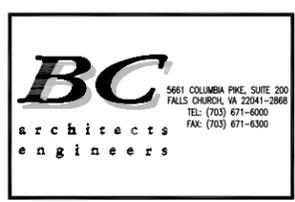
- DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SPREAD OF DUST TO OCCUPIED PORTIONS OF THE BUILDING.
- EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WORK DAMAGED BY CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING WORK.
- AT THE END OF EACH WORK DAY AND DURING INCLEMENT WEATHER, CLOSE ALL EXTERIOR OPENINGS WITH WEATHERPROOF COVER.
- REMOVE DEBRIS AND RUBBISH FROM THE SITE DAILY. DO NOT ALLOW DEBRIS AND RUBBISH TO ACCUMULATE IN BUILDING OR ON SITE.

**DIVISION 3: CONCRETE WORKS-03310**

- QUALITY ASSURANCE: COMPLY WITH PROVISIONS OF THE FOLLOWING CODES, SPECIFICATIONS AND STANDARDS, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE SHOWN OR SPECIFIED.
  - ACI 301 "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS", LATEST EDITION.
  - ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 318 "COMMENTARY", LATEST EDITION. CONCRETE REINFORCING STEEL INSTITUTE (CRSI),"MANUAL OF STANDARD PRACTICE".
- REINFORCING MATERIALS:
  - REINFORCING-ASTM A 615, GRADE 60 DEFORMED.
  - WELDING WIRE FABRIC:ASTM A185 WELDED STEEL WIRE FABRIC.
  - SUPPORTS FOR REINFORCEMENT: BOLSTERS, CHAIRS, SPACERS AND OTHER DEVICES FOR SPACING, AND SUPPORTING REINFORCING BARS IN PLACE. USE WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI SPECIFICATIONS.
- CONCRETE MATERIALS:
  - PORTLAND CEMENT: ASTM C 150, TYPE 1.
  - AGGREGATES: ASTM C 330 AND APPROVED BY LOCAL D.O.T. AS ALKALI-SILICA REACTION RESISTANT.
  - AIR-ENTRAINING ADMIXTURE: ASTM C 260 CERTIFIED BY THE MANUFACTURER TO BE COMPATIBLE WITH OTHER REQUIRED ADMIXTURES.
- PROPORTIONING AND DESIGN OF MIXES:
  - DESIGN MIX TO PROVIDE CONCRETE WITH THE FOLLOWING PROPERTIES:
    - AS PER MANUFACTURER DESIGN - TO BREAK ACCORDING TO MANUFACTURERS TESTING REQUIREMENTS.
    - WEIGHT: 145 PCF.
      - W/C RATIO: 0.44 MAXIMUM (NON AIR-ENTRAINED), 0.35 MAXIMUM (AIR-ENTRAINED).
    - NOTE: NO TOWER STEEL IS TO BE PLACED ON THE TOWER FOUNDATION/S UNTIL THE CONCRETE CURE STATUS IS A MINIMUM OF (50%) PERCENT OF THE TOWER MANUFACTURE'S SPECIFICATION. TESTING REPORTS ARE TO BE FORWARDED TO CROWN OR APPOINTED CONSTRUCTION MANAGER. COPIES OF THE EACH REPORT SHOULD BE INCLUDED IN THE CLOSE-OUT PACKAGE
  - CONCRETE TESTING REQUIREMENTS:
    - SAMPLING FRESH CONCRETE PER ASTM C172, EXCEPT MODIFIED FOR SLUMP TO COMPLY WITH ASTM C94.
    - TEST CYLINDER REQUIREMENT:
      - ONE (1) SET OF SIX (6) CYLINDERS FOR EVERY 50 YARDS BATCH OR 1 SET OF 6 CYLINDERS FOR EACH POUR. CYLINDERS (1) SHOULD BE TAKEN FROM EACH TRUCK FOR AN EQUAL SAMPLING OF THE 50 YARD BATCH OR POUR.
      - NOTE: ALL CYLINDERS SHOULD NOT BE MOVED FROM THE SAMPLING AREA FOR A PERIOD OF 24 HOUR. ALL CYLINDER SHOULD BE COVER AND PROTECTED FROM DAMAGE AND FREEZING.
      - COMPRESSIVE STRENGTH TEST REQUIREMENTS:
        - BREAK 1 CYLINDER AT 3, 7, 14, 28 DAYS
        - NOTE: BREAKS CAN BE COMPLETED AFTER 3 DAYS AND BEFORE 14 DAYS WITH THE 2 SPACE CYLINDERS TO CONFIRM REQUIRED STRENGTH FOR STACKING TOWER STEEL.

**DIVISION 4: STRUCTURAL STEEL-05120**

- QUALITY ASSURANCE: COMPLY WITH PROVISIONS OF THE FOLLOWING CODES, SPECIFICATIONS AND STANDARDS, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE SHOWN OR SPECIFIED:
  - AISC "CODE OF STANDARD PRACTICE".
  - AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - 13TH EDITION
  - AMERICAN WELDING SOCIETY (AWS) D1.1-06, "STRUCTURAL WELDING CODE - STEEL."
- MATERIALS:
  - STRUCTURAL STEEL PLATES, SHAPES AND BARS: ASTM A 36.
  - HIGH STRENGTH THREADED FASTENERS: ASTM A 325.
  - ELECTRODES FOR WELDING: E70XX OR MATCHING FILLER AS SPECIFIED IN AWS D1.1.
  - ALL STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A 123.
- CEMENT GROUT: IF REQUIRED BY TOWER MANUFACTURER; FOLLOW MFG. SPEC.
- NON-METALLIC, SHRINKAGE-RESISTANT, 4000 PSI COMPRESSIVE STRENGTH GROUT, PROVIDE ONE OF THE FOLLOWING OR AN APPROVED EQUAL:
  - EUCO N.S. BY EUCLID CHEMICAL CO.
  - MASTERFLOW 713 BY MASTER BUILDERS
- ALL TOWER STEEL THAT HAD GALVANIZING DAMAGE SHALL BE REPAIRED IN ACCORDANCE WITH ASTM A780, SECTION A2 "REPAIR USING ZINC-RICH PAINTS."



REVISIONS	NO.	DATE	DESCRIPTION	BY	ACT	ACT	ACT	ACT	ACT
				AGT	AGT	AGT	AGT	AGT	
	A	03-01-19	PRELIMINARY ZONING DRAWINGS						
	0	03-05-19	FINAL ZONING DRAWINGS						
	1	04-23-19	ADDITIONS TO ZONING DRAWINGS						
	2	05-29-19	95' TOWER SETBACK						
	3	06-07-19	92' TOWER FALL ZONE						

DRAWN BY: **AGT**  
 CHECKED BY: **BMQ**  
 DRAWING DATE: **06-07-19**

CARRIER'S NAME

SITE NUMBER:  
 SITE NAME:

SITE NAME

**VANKEUREN - PARIS**

BUSINESS UNIT NUMBER

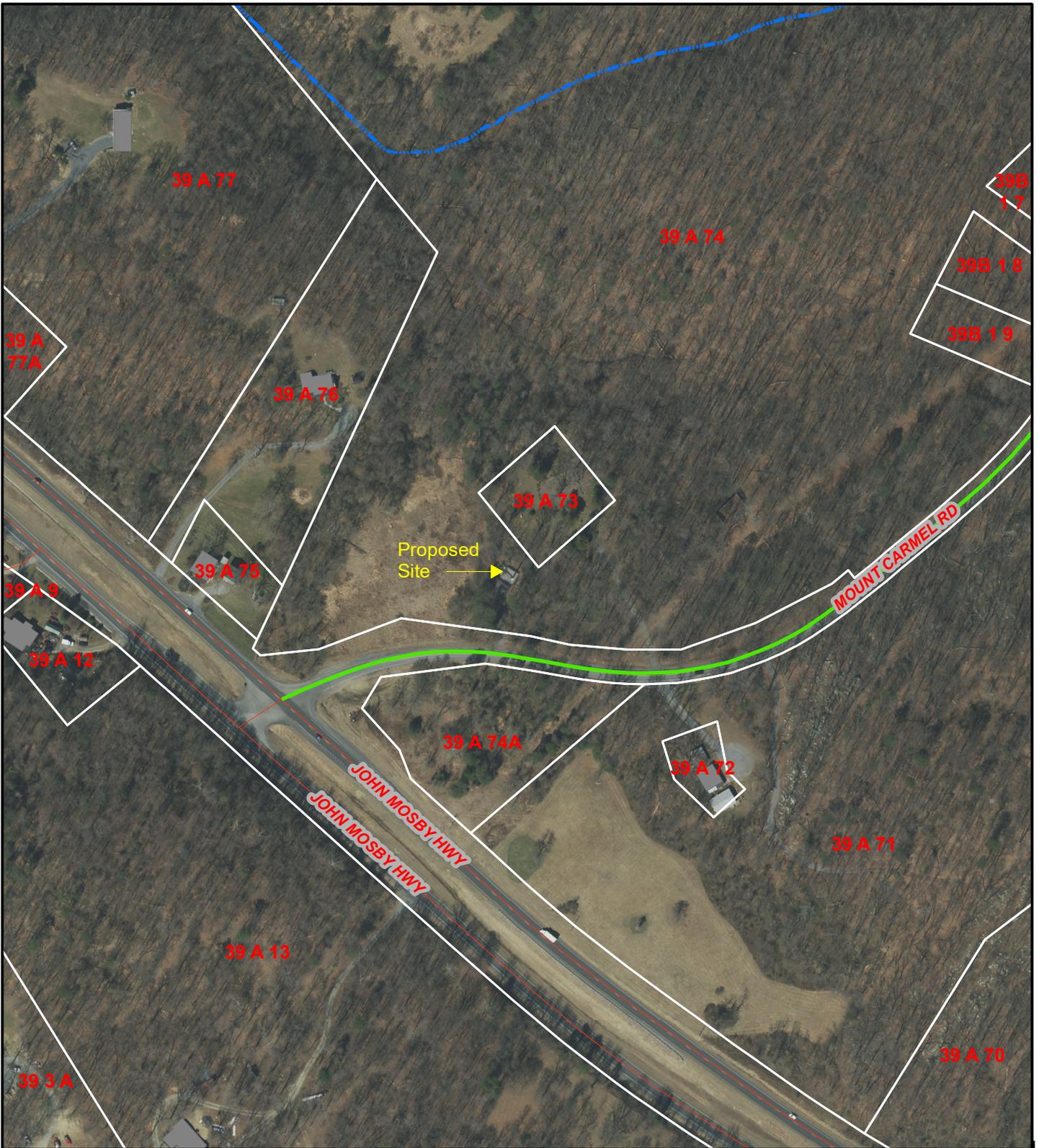
**828704**

SITE ADDRESS

**653 MOUNT CARMEL RD.  
 PARIS, VA 20130**

SHEET TITLE  
**GENERAL NOTES**

SHEET NUMBER



Clarke County GIS  
June 28, 2019



### Legend

-  Roads
-  Parcels
-  Structures



# Michael F. Plahovinsak, P.E.

18301 State Route 161, Plain City, Ohio 43064

(614) 398-6250 - mike@mfpeng.com

---

May 29, 2019

## Crown Castle

Re: Proposed 185-ft Monopole  
Located in Clarke Co., VA: 828704 VanKeuren - Paris  
MFP Project #: 23519-087 / TAPP Project Number: TP-17441

I understand that there may be some concern on the part of local building officials regarding the potential for failure of the proposed communication monopole. Communication structures are designed in accordance with the Telecommunications Industry Association ANSI/TIA-222-G, "Structural Standards for Steel Antenna Towers and Antenna Supporting Structures". This Structure is to be fabricated by TransAmerican Power Products

I have designed this monopole to withstand a 3-sec. gusted wind speed of 89 mph (Vasd) as recommended by ANSI/TIA-222-G for Clarke Co., VA. The design also conforms to the requirements of the 2015 Virginia Uniform Statewide Building Code for an equivalent ultimate wind speed of 115 mph (Vult).

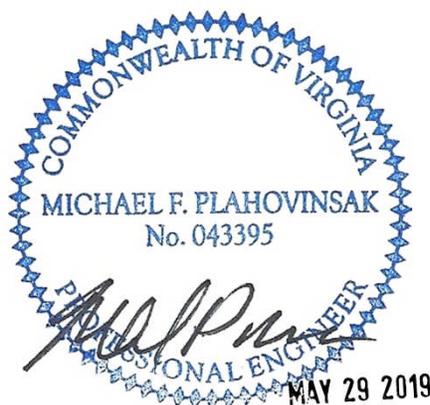
This monopole has been designed to accommodate a theoretical fall radius. The upper 92' of the pole has been designed to meet the wind loads of the design, however, the lower portion of the pole has been designed with a minimum 10% extra capacity. Assuming the pole has been designed according to my design, and well maintained, in the event of a failure due to extreme wind and comparable appurtenance antenna load (winds in excess of the design wind load), it would yield/buckle at the 93' elevation. The yielded section would result in a maximum 92' fall radius, but would most likely remain connected and hang from the standing section.

The structure has been designed with all of the applicable factors as required by the code. A properly designed, constructed and maintained pole has never collapsed; monopoles are safe structures with a long history of reliable operation.

I hope this review of the monopole design has given you a greater degree of comfort regarding the design capacity inherent in pole structures. If you have any additional questions please call me at 614-398-6250 or email mike@mfpeng.com.

Sincerely,

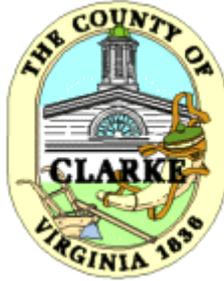
Michael F. Plahovinsak, P.E.



---

Michael F. Plahovinsak, P.E.  
Sole Proprietor - Independent Engineer  
P.E. Licensed in 48 Jurisdictions





**CLARKE COUNTY, VA  
TECHNICAL REVIEW**

**SPECIAL USE PERMIT  
(SUP-19-01)**

**PROPOSED NEW  
185' WIRELESS TELECOMMUNICATIONS FACILITY**

**By  
CROWN CASTLE  
For  
AT& T Mobility**

**At  
130 MOUNT CARMEL ROAD  
PARIS, VA 20130**

**Submitted by:**

**ATLANTIC TECHNOLOGY CONSULTANTS, INC.**

A Member of The Atlantic Group of Companies

**ATC PROJECT #: 1150-03**

**June 28, 2019**



## New Wireless Antenna Site Review Standards:

Information is limited by the following Virginia Statute.

*The Virginia General Assembly's passage of House Bill 1258, which was signed into law by the Governor on April 18, 2018, invalidates the aforementioned requirement. Please see Va. Code Section 5.2-2316.4:2A.1, which provides that, in its receiving, considering, and processing of a an application or for any zoning approval required for a standard process project, a locality shall not disapprove an application on the basis of an applicant's business decision with respect to its designed service, customer demand for service, or quality of its service to or from a particular site, and Va. Code Section 15.2-2316.4:2A.2, which provides that a locality shall not require an applicant to provide proprietary or other business information, such as propagation maps and telecommunications traffic studies, to justify the need for the project in its current location.*

## EXECUTIVE SUMMARY

Crown Castle International LLC (Crown Castle) on behalf of AT&T Mobility (AT&T) has made application to the County for the issuance of a Special Use Permit to allow construction of a new 185' AGL telecommunications monopole to replace the existing 100' AGL monopole at the property located at 130 Mount Carmel Road, Parcel # 39-A-74, owned by Edward Bruce VanKeuren whose address is 653 Mount Carmel Road, Paris, VA. The original Special Use Permit was granted on August 19, 2003.

AT&T is an FCC licensed telecommunications provider authorized to provide digital wireless service to the Clarke County area in conjunction with Crown Castle and proposes the addition of a Class 4 Wireless Communications Facility (WCF) 185' monopole style tower to support service delivery in an area with a lack of AT&T coverage in the area of Paris to Boyce corridor on Rt. 50 known as John Mosby Highway.

This report outlines the specific areas of evaluation with respect to this proposal, and this consultant's recommendations regarding the Application as presented. Supporting and clarifying evidence regarding the suitability of the proposed design in meeting the specified coverage goals is included.

In general, it is the opinion of this consultant that the application conforms to many of the County's Design Standards regarding the construction of telecommunications support structures outlined in **"Telecommunications Infrastructure and Broadband Study 2020"** as a planned wireless communications facility known as part of the Comprehensive Plan.

The Applicant should provide the following information before a complete informed decision can be made by the consultant:

1. Was the American Tower Site known as VA-419083 directly across Mt. Carmel Road considered?
2. Variance for site for the Mt. Carmel Cemetery and the property line at the street.
3. Letter from Structural Engineer stating Fall Zone requirements.
4. Coverage: What would the penalty be if co-locating at 80' AGL position (% of reduced coverage)
5. Coverage: What would the penalty be if co-locating at the 70' AGL position for the American Tower WCF positioned across Mt. Carmel Road (% of reduced coverage)
6. AT&T and T-Mobile RF/FCC compliant Letters.
7. Applicant applies for a FCC ASR number even if not required.
8. This Application does not include a copy of the FCC NEPA Summary Report date.
9. Coverage objectives from three scenarios of Ground Elevation, Structure height, and overall AMSL.



George N. Condyles, IV CPM  
President and COO  
Atlantic Technology Consultants, Inc.

## 1.0 TECHNICAL

### 1.1 Siting

The proposed tower site is an existing 38'x28' compound within a 45'x55' leased area (0.057 acre) on the edge of unimproved forested land located on a tract owned by Mr. Edward Bruce VanKeuren.

This property is administrated by an Easement Agreement approved by the owner Mr. VanKeuren and Global Tower Assets LLC the "Assignor" in 2003 and assigned to Global Signal Acquisition IV LLC as the "Assignee" in 2018.

The original 100' stealth monopole was required by the Clarke County Board of Supervisors in 2003.

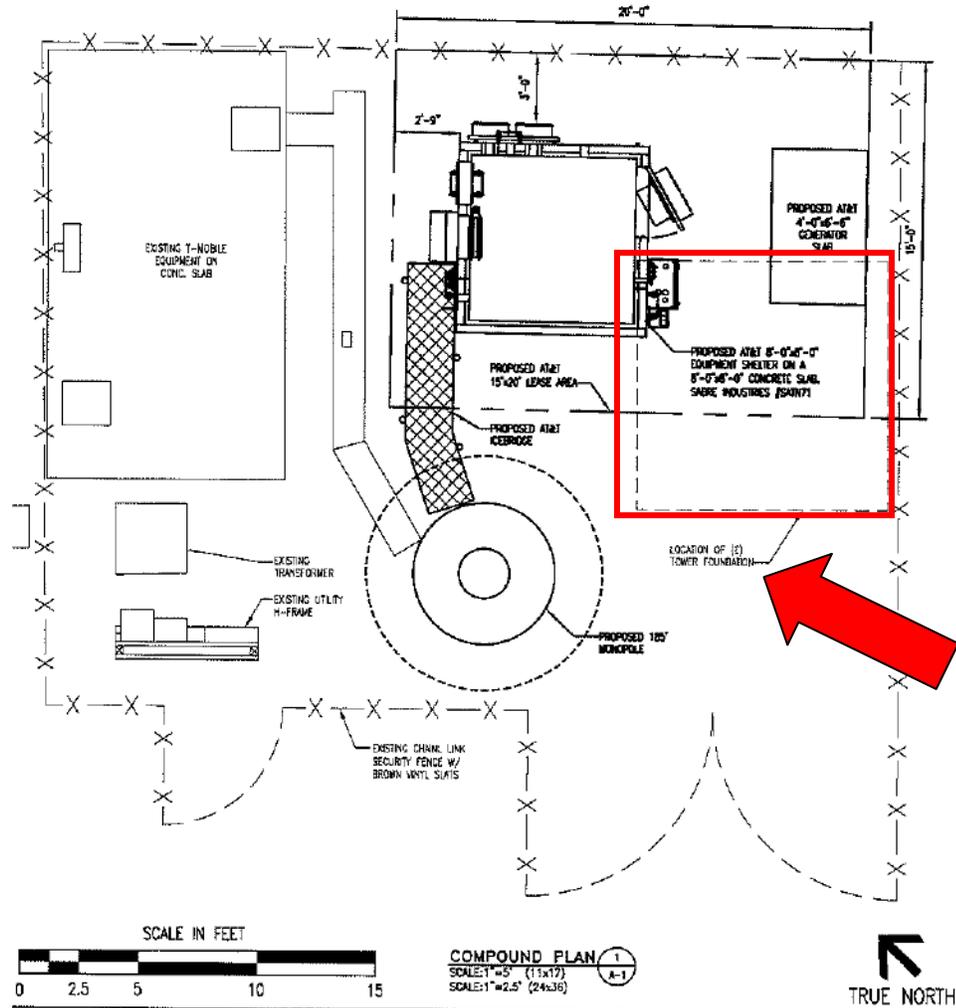
The "Parent" tract of 84.5567 acres is located on County Deed Book 606 Page 863, tax Map 39-A-74. The property is zoned **Forest/Open Space/Conservancy (FOC)**.

#### **This is what is known as a "drop and swap" within the wireless industry.**

The tower/WCF is proposed to be a Class 4 WCF 185' AGL Monopole tower with a 4' lightning rod. Site placement as described represents the location of most minimal visual impact to the surrounding area and parcels. As noted by the Applicant this site will blend with existing natural vegetative screening and tree coverage. This tower site selection is in the geographic southwest area of the parcel to have access to Mount Carmel Road. The tower site will have limited visibility from any adjacent property owners.

The replacement tower of 185' will have a new caisson foundation and after the new tower is erected, the old 100' tower will be dismantled and taken away as shown below.

Upon reviewing the supplied Site Plan drawings, the size of the compound will remain the same within the 38'x28' fenced area. The over all leased area of 45'x55' or 2,475 square feet meets the requirement of design standards for *Wireless Communications Facilities (WCF) 6-H-12-a: 6. Other Design Requirements a. Compound Design Requirements* with a not to exceed measurement of "2,500 Square Feet."



Landowner approval for this site has been documented and supplied. No objections have thus far been presented.

### Set Backs

The “collapse zone” for this tower has not been supplied by the manufacturer. Today’s technology in the design of the structure allows the tower to buckle at approximately 40% of the height then fall unto itself with the 60%.

Typically, this would be less than 120’ in radius. In this case 60% would be approximately 111’ feet.

The closest property line boundary is 114’ from the Mt. Carmel Road boundary and only 60’ from the Mt. Carmel Cemetery. There are no homes or inhabited/occupied structures within the Fall Zone.

The Applicant will need to Apply and receives a “Variance” for the setback issues.

The Consultant would support such a request.

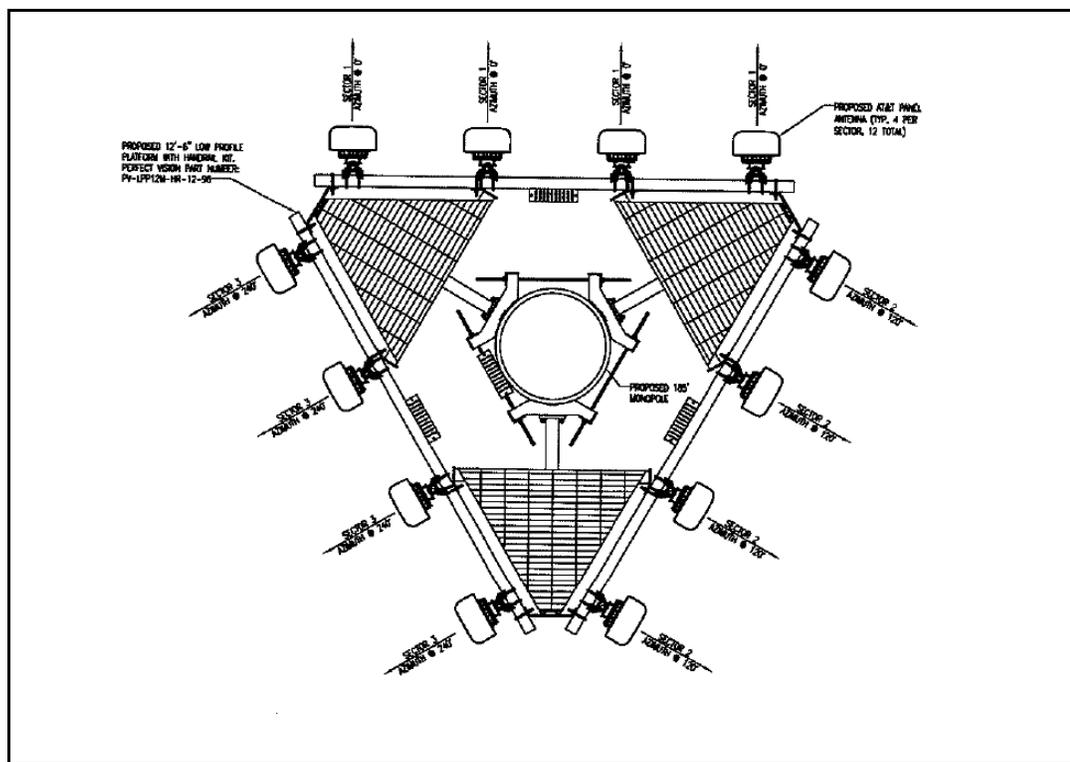
## 1.2 Structural

The proposed 185-foot monopole tower design is of high strength steel, and represents a highly stable structural design not known by this consultant to have failed at any installation in this region. This structure, as proposed, is well within compliance of EIA/TIA-222-G guidelines (the accepted industry standard) for structures, which is mandated to withstand the structural loading of all appurtenances, plus additional wind and ice loading. The size of the proposed tower makes this design an ideal choice to support the proposed appurtenances, and yet minimize visual impact.

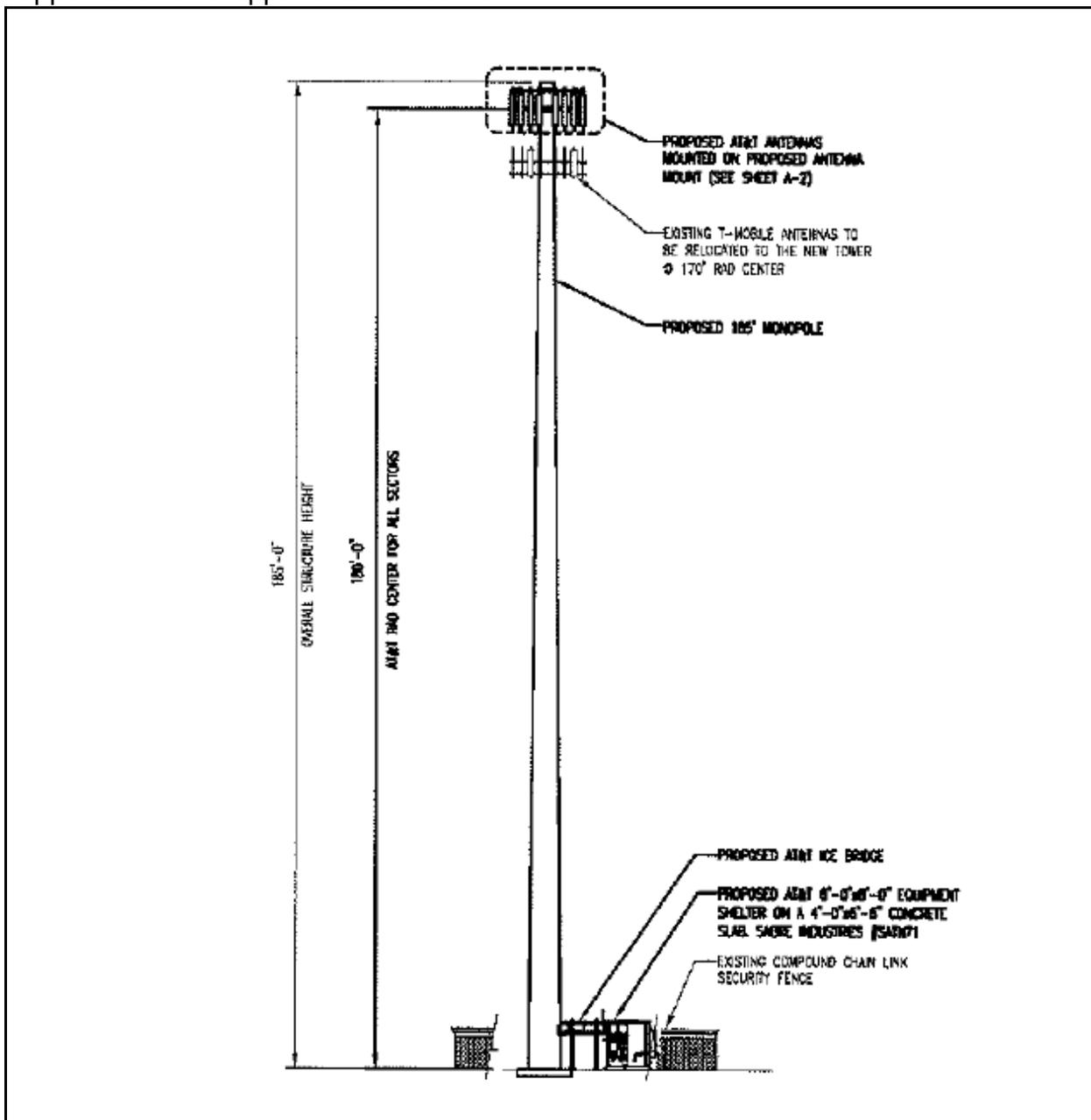
Crown Castle (the WCF owner) will have T-Mobile move their existing antennas, cabling and electronics to the new tower at the 170' AGL position.

As proposed at the 180' AGL position, AT&T intends to place twelve (12) "standard installed" panel antennas with a vertical length of ten (10) feet each and 150 feet of associated 7/8" transmission lines on this tower. At the base of the tower, a 15' x 20' concrete pad will support an 8' x 8' concrete equipment hut with some low-profile equipment cabinets, which will house all of the telecommunications equipment installed by the Applicant. The entire 38' x 28' compound will continue to be enclosed by an 8' high chain-link security fence with 1' barbed wire extension (total of 9' in height), which will prevent unauthorized access to the tower and applicant's equipment, but will allow sufficient room for additional co-location if such expansion is ever requested.

### AT&T Antenna Plan



This existing and proposed tower structure, as proposed, would allow room for future co-location of at least 3 additional wireless carriers on the same site, minimizing the number of towers needed for all wireless telecommunications carriers to eventually optimize service in this area. This tower design has a long service life, and has been designed with the ability to support additional appurtenances as built.



The structural engineer, Justin T. Kline PE of the Paul J. Ford & Company, states the proposed structure will have “**Sufficient Capacity**” in a report dated March 19, 2019.

<b>PJF PAUL J. FORD &amp; COMPANY</b>	
Date: <b>March 19, 2019</b>	
Steve Tuttle Crown Castle 8 Parkmeadow Drive Pittsford, NY 14534	Paul J. Ford and Company 250 East Broad St., Suite 600 Columbus, OH 43215 (614) 221-6679
<b>Subject:</b>	<b>Structural Analysis Report</b>
<b>Carrier Designation:</b>	<b>AT&amp;T Mobility Co-Locate</b> Carrier Site Number: 14537155 Carrier Site Name: Mountain Lake
<b>Crown Castle Designation:</b>	<b>Crown Castle BU Number:</b> 828704 <b>Crown Castle Site Name:</b> VanKeuren - Paris <b>Crown Castle JDE Job Number:</b> 557967 <b>Crown Castle Work Order Number:</b> 1703056 <b>Crown Castle Order Number:</b> 479268 Rev. 3
<b>Engineering Firm Designation:</b>	<b>Paul J. Ford and Company Project Number:</b> 37519-0771.002.7805
<b>Site Data:</b>	<b>130 Mount Carmel Road, Paris, Clarke County, VA 20130</b> <b>Latitude 39° 1' 53.20", Longitude -77° 58' 57.60"</b> <b>185 Foot - Monopole Tower</b>

Dear Steve Tuttle,

Paul J. Ford and Company is pleased to submit this "Structural Analysis Report" to determine the structural integrity of the above mentioned tower.

The purpose of the analysis is to determine acceptability of the tower stress level. Based on our analysis we have determined the tower stress level for the structure and foundation, under the following load case, to be:

LC7: Proposed Equipment Configuration **Sufficient Capacity**

This analysis utilizes an ultimate 3-second gust wind speed of 115 mph as required by the 2015 Virginia Construction Code. Applicable Standard references and design criteria are listed in Section 2 - Analysis Criteria.

Respectfully submitted by:

  
 Deepesh Savla, PE SJT  
 Project Engineer



019.03.19  
8:16:27-04'00'

Furthermore, in conformance with County ordinance, work at this site will remain in compliance with ALL federal, state, and local building codes and regulations if work proceeds as outlined in the application.

### 1.3 RF Exposure

FCC bulletin OET-65 provides guidance for a licensee proposing to construct a telecommunications support structure in calculation of RF exposure limitations, including analysis of the cumulative effect of all transmitters on the structure. Appropriate steps, including warning signage at the site, must be taken to protect both the general public and site workers from unsafe RF exposure in accordance with federal guidelines.

The Applicant has not submitted letters from T-Mobile or AT&T Wireless stating conformance with all FCC Emissions Requirements.

The Consultant does not see any potential issues with the submitted Application on this issue. The consultant sees no evidence of unsafe RF exposure levels being generated at this site if construction were to proceed as proposed. RF site exposure warning signage placement is appropriately planned for this site.

## 1.4 Grounding

Grounding of all structures and equipment at an RF site is critically important to the safety of both personnel and equipment at the site. Even a single component not meeting these standard places all other site components at risk for substantial damage. All structures and equipment at the site should maintain a ground potential difference of less than 5 ohms.

If the construction is performed as proposed, sufficient grounding will be maintained at this site. Detailed Grounding Plans must be submitted and reviewed and address this issue.

## 1.5 General Safety

As clearly indicated in the proposed site plans, this site compound will be surrounded by suitable security fencing. Additional safety measures to be placed at this site include RF exposure warning signage, site identification information, and routine and emergency contact information. The site plans should include the installation of an OSHA-approved style of fall prevention cable.

## 1.6 Interference

An interference study, taking into account all proximally located transmitters and receivers known to be active in the area are advisable prior to any new tower construction.

An interference study has not been included with the Application.

This consultant sees no evidence of interference by or with this site after a general evaluation of the surrounding transmitter sites.

Should any interference issues be posed with respect to this site, mitigation would nevertheless remain the responsibility of the tower owner and affected carrier(s), and would be regulated by the Federal Communication Commission, having no effect or burden on the County.

## **2.0 PROCEDUREAL**

### 2.1 FAA Study : 2019-AEA-3454-OE

An initial search was performed by this consultant via TOWAIR Determination under the ASR online system on the FCC website to determine if registration is a requirement.

The results of the TOWAIR Determination search were as follows: "A routine check of the coordinates, heights, and structure type you provided indicates that this structure does NOT require registration."

The Applicant submitted a full Air Space Study (2019-AEA-3454-OE) and the result of this study was "This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation."

	Mail Processing Center Federal Aviation Administration Southwest Regional Office Obstruction Evaluation Group 10101 Hillwood Parkway Fort Worth, TX 76177	Aeronautical Study No. 2019-AEA-3454-OE
Issued Date: 04/11/2019		
Margaret Leister Crown Castle for T-Mobile 3530 Toringdon Way Charlotte, NC 28277		
<b>** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **</b>		
The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:		
Structure:	Antenna Tower VanKeuren- Paris / 828704	
Location:	Paris, VA	
Latitude:	39-01-53.38N NAD 83	
Longitude:	77-58-57.10W	
Heights:	655 feet site elevation (SE) 191 feet above ground level (AGL) 846 feet above mean sea level (AMSL)	
This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:		
It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:		
<input type="checkbox"/> At least 10 days prior to start of construction (7460-2, Part 1)		
<input checked="" type="checkbox"/> Within 5 days after the construction reaches its greatest height (7460-2, Part 2)		
Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 L Change 2.		

## 2.2 FCC Antenna Site Registration

This site does not yet have, and is not required to have, an antenna site registration number.

It is recommended by the consultant that this site be registered with the Federal Communication Commission.

All registered sites should have their registration number conspicuously displayed at the site, normally on the security fence surrounding the compound area.

## 2.3 Environmental Impacts

The National Environmental Policy Act of 1969 (NEPA), delineated in Title 47 of the Code of Federal Regulations, Part 1, Subpart I, sections 1.1301-1.1319, requires federal agencies to incorporate environmental considerations into their decision-making process when evaluating new construction proposals. As a licensing agency, the Federal Communication Commission (FCC) requires all licensees to consider the potential environmental effects from their construction of antenna support structures, and to disclose those effects in an Environmental Assessment (EA) that must be filed with the FCC for review.

This Application does not include a copy of the FCC NEPA Summary Report date.

## 2.4 Historic Impacts

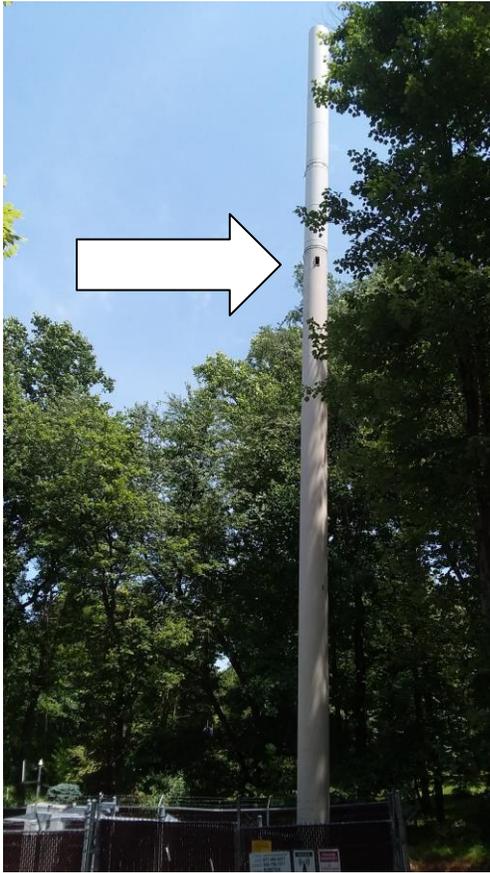
Section 106 of the National Historic Preservation Act of 1966 (NHPA) requires that State Historic Preservation Offices (SHPO) and the President's Advisory Council on Historic Preservation be given a reasonable opportunity to comment on all undertakings with the potential to affect historic properties. The licensee is required to submit to the SHPO a detailed description of the project, a listing of local historic resources, and a discussion of any measures being undertaken to mitigate impacts (if any) on historic resources. Upon receipt, the SHPO has thirty (30) days to review and respond to those submissions. All agencies with authority to permit construction are required to consider the SHPO response in its decision making process with respect to new construction applications.

In an e-mail dated April 29, 2019 from The Commonwealth of Virginia: Department of Historic Resources determined that the tower will have **"No Adverse Effect."**

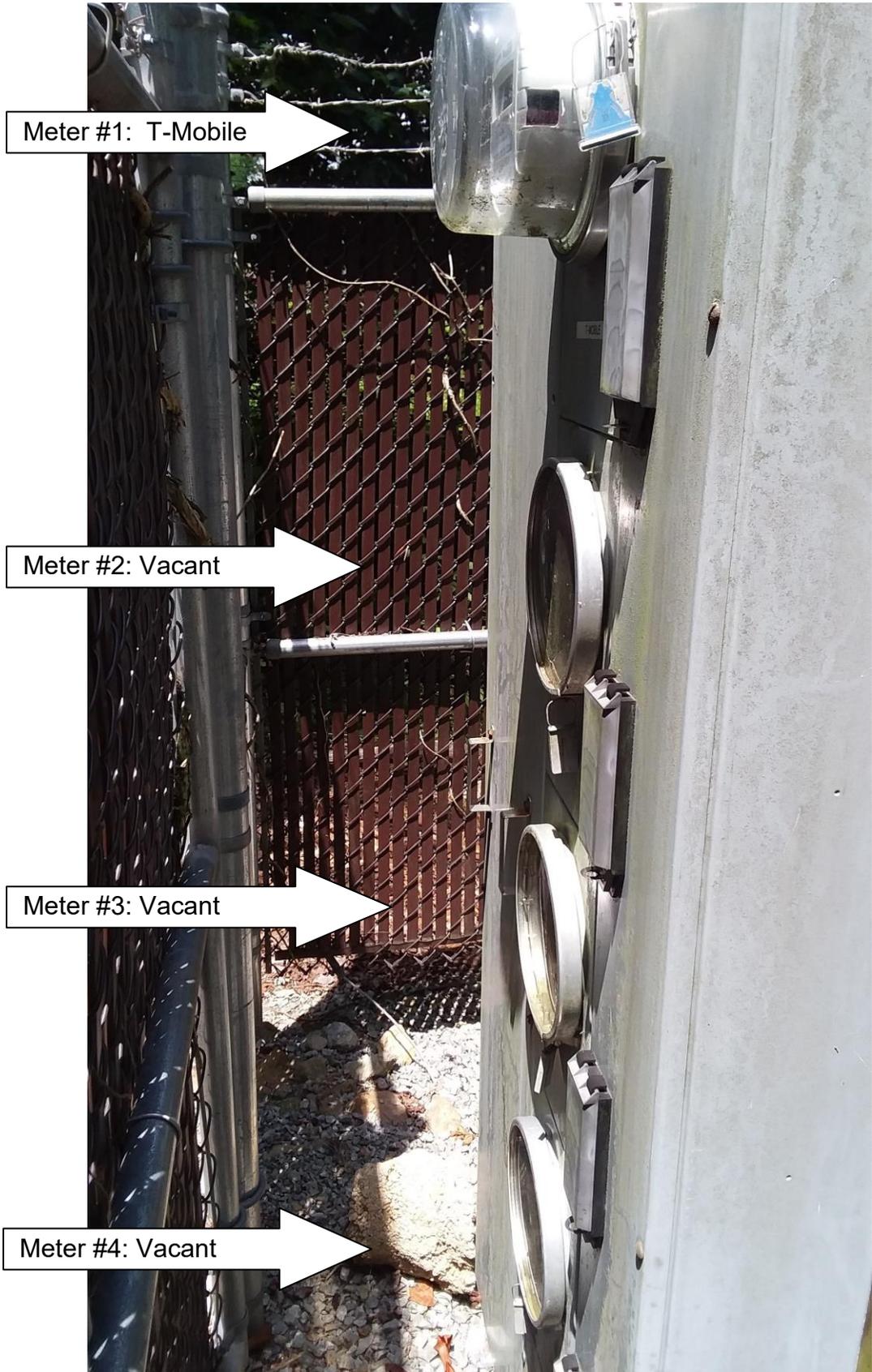
## 2.5 Co-location

The coverage objective for this tower is the south and north sides of US Rt. 50 John Mosby Highway.

The original stealth tower designed in 2003 was set up for 4 co-locators. This is reflective in the number of electrical meters installed at the site. Currently only T-Mobile is located on the tower. (See picture below)



**It appears that there is room in the stealth tower at the 80' AGL position.** This has not been confirmed or researched as part of the Applicant's request.



## 2.6 Coverage

Due to the new State Law, the jurisdiction is not allowed to review this data.

Analysis: Proposed 185 ft AGL tower compared to American Tower Site

<b>Tower</b>	<b>Site Ground Elevation</b>	<b>Tower Height</b>	<b>AMSL</b>
Existing 100' AGL Stealth Tower	655'	80' AGL Position	735'
Proposed 185' AGL Tower	655'	180' AGL Position	835'
American Tower Stealth	843'	80' AGL Position	923'

**Ground Elevation 188' Higher at the American tower site.**

### Questions:

1. Ability to add new antennas to existing American Tree Pole?
2. American Towers' willingness to co-locate AT&T?
3. Existing Stealth Pole co-located at 80' AGL?

### **3.0 RECOMMENDATIONS**

AT&T is an FCC licensed telecommunications provider authorized and mandated to provide digital wireless service to the Clarke County area in conjunction with Crown Castle and proposes the addition of a Class 4 Wireless Communications Facility (WCF) 185' monopole style tower to support service delivery in an area with a lack of AT&T coverage in the area of Paris to Boyce corridor on Rt. 50 known as John Mosby Highway.

In general, it is the opinion of this consultant that the application conforms to many of the County's Design Standards regarding the construction of wireless communications facility support structures outlined in "Telecommunications Infrastructure and Broadband Study 2020" as a planned wireless communications facility known as part of the Comprehensive Plan.

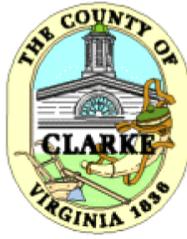
The Applicant should provide the following information before a complete informed decision can be made by the consultant:

1. Was the American Tower Site known as VA-419083 directly across Mt. Carmel Road considered?
2. Variance for site for the Mt. Carmel Cemetery and the property line at the street.
3. Letter from Structural Engineer stating Fall Zone requirements.
4. Coverage: What would the penalty be if co-locating at 80' AGL position? (% of reduced coverage)
5. Coverage: What would the penalty be if co-locating at the 70' AGL position for the American Tower WCF positioned across Mt. Carmel Road? (% of reduced coverage)
6. AT&T and T-Mobile RF/FCC compliant Letters.
7. Applicant applies for a FCC ASR number even if not required.
8. This Application does not include a copy of the FCC NEPA Summary Report date.
9. Coverage objectives from three scenarios of Ground Elevation, Structure height, and overall AMSL.

Respectfully submitted,



George N. Condyles, IV, CPM  
President & COO



# Telecommunications Infrastructure And Broadband Study 2020

November 22, 2016

Performed by



*"Navigating the Seas of Technology"*



6260 Pine Slash Road  
Mechanicsville, Virginia 23116  
(804) 559-6004  
[www.atlanticgroup.us.com](http://www.atlanticgroup.us.com)

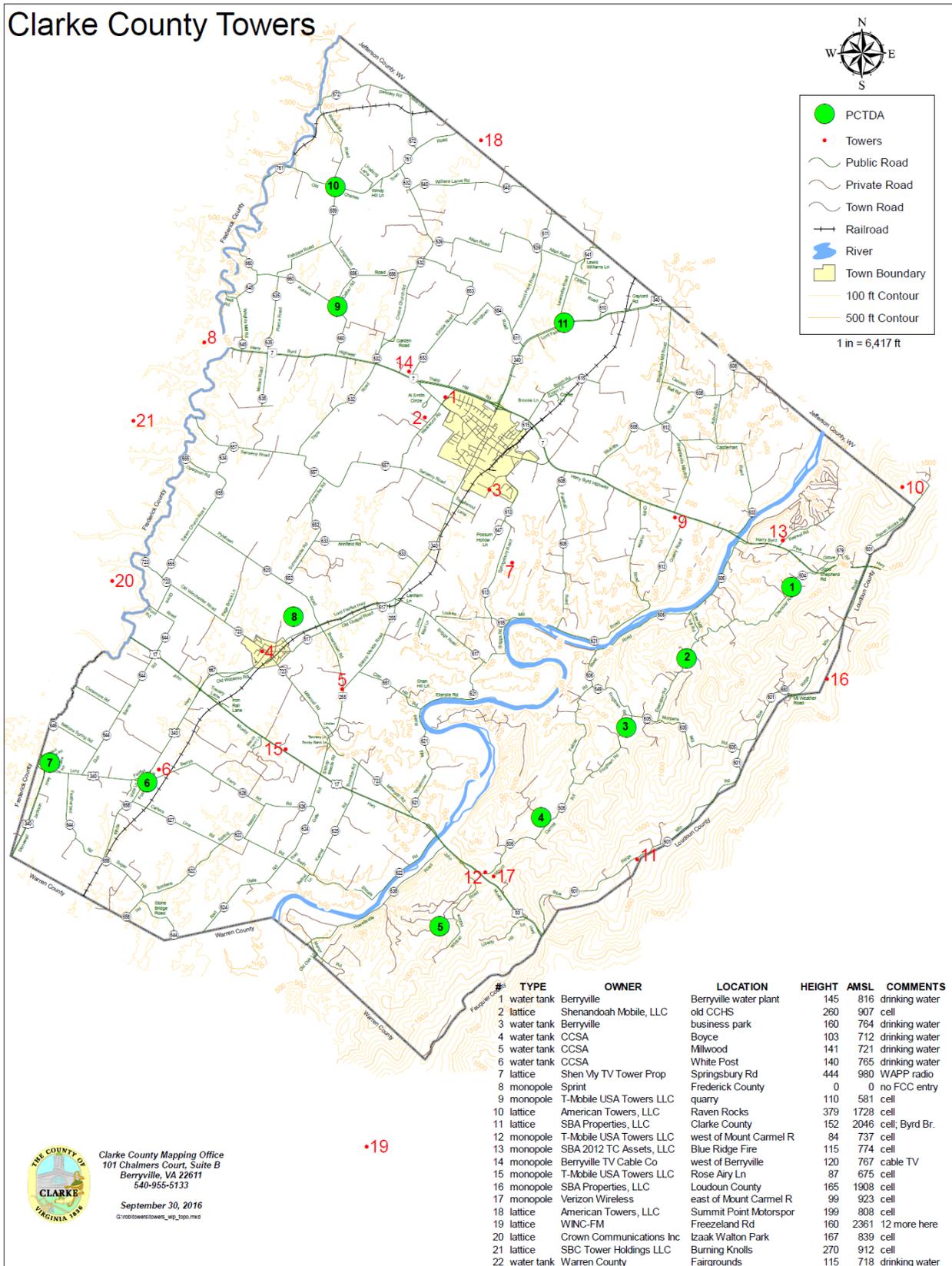
**Permitted Commercial Tower Developmental Areas (PCTDA) for Clarke County, Virginia**

Upon reviewing topography, tree heights, sound attenuation, and data transmission (uplink and down link) with the positioning of existing commercial tower facilities and the existing data coverage prediction modeling, these locations have been preliminarily selected as potential tower development sites.

These are simple positions on a map that a ½ mile radius could be drawn which for future data (Broadband) deployment, these tower facilities would ensure deployment of Wireless Broadband from various providers.

<b>PCTDA</b>	<b>Latitude</b>	<b>Longitude</b>	<b>Height (AGL)</b>
<b>1</b>	<b>39-06-37.3 N</b>	<b>77-52-21.5 W</b>	<b>120'</b>
<b>2</b>	<b>39-05-26.7 N</b>	<b>77-54-36.3 W</b>	<b>120'</b>
<b>3</b>	<b>39-04-17.8 N</b>	<b>77-55-55.1 W</b>	<b>120'</b>
<b>4</b>	<b>39-02-47.8 N</b>	<b>77-57-45.0 W</b>	<b>120'</b>
<b>5</b>	<b>39-00-59.2 N</b>	<b>77-59-55.6 W</b>	<b>120'</b>
<b>6</b>	<b>39-03-25.0 N</b>	<b>78-06-10.7 W</b>	<b>120'</b>
<b>7</b>	<b>39-03-45.4 N</b>	<b>78-08-15.3 W</b>	<b>120'</b>
<b>8</b>	<b>39-06-10.9 N</b>	<b>78-03-01.5 W</b>	<b>120'</b>
<b>9</b>	<b>39-11-21.4 N</b>	<b>78-02-02.9 W</b>	<b>120'</b>
<b>10</b>	<b>39-13-21.3 N</b>	<b>78-02-04.8 W</b>	<b>120'</b>
<b>11</b>	<b>39-11-04.1 N</b>	<b>77-57-12.0 W</b>	<b>120'</b>

# Clarke County Towers

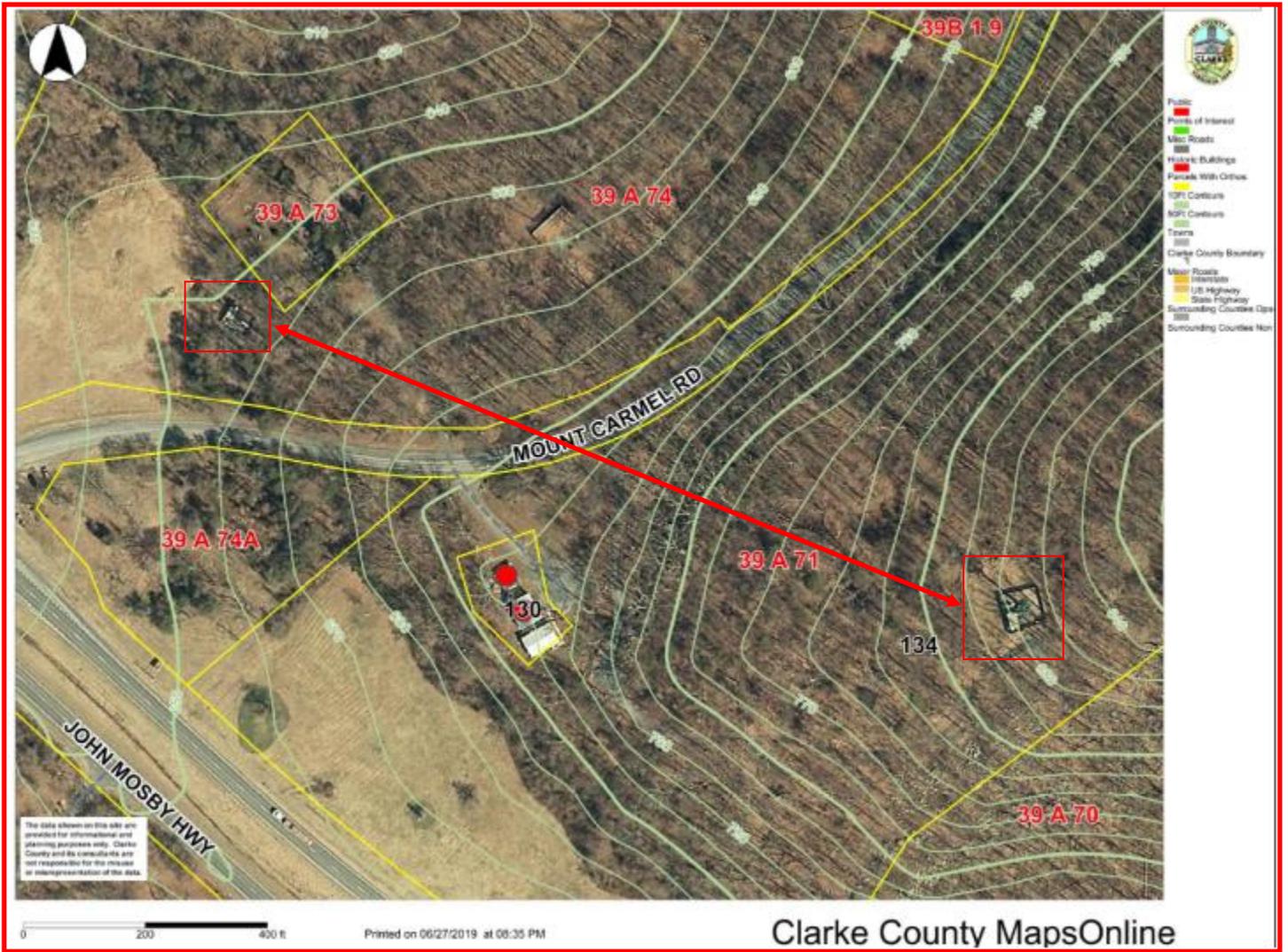


#	TYPE	OWNER	LOCATION	HEIGHT	AMSL	COMMENTS
1	water tank	Berryville	Berryville water plant	145	816	drinking water
2	lattice	Shenandoah Mobile, LLC	old CCHS	260	907	cell
3	water tank	Berryville	business park	160	764	drinking water
4	water tank	CCSA	Boyce	103	712	drinking water
5	water tank	CCSA	Millwood	141	721	drinking water
6	water tank	CCSA	White Post	140	765	drinking water
7	lattice	Shen Vly TV Tower Prop	Springbury Rd	444	980	WAFP radio
8	monopole	Sprint	Frederick County	0	0	no FCC entry
9	monopole	T-Mobile USA Towers LLC	quarry	110	581	cell
10	lattice	American Towers, LLC	Raven Rocks	379	1728	cell
11	lattice	SBA Properties, LLC	Clarke County	152	2046	cell; Byrd Br.
12	monopole	T-Mobile USA Towers LLC	west of Mount Carmel R	84	737	cell
13	monopole	SBA 2012 TC Assets, LLC	Blue Ridge Fire	115	774	cell
14	monopole	Berryville TV Cable Co	west of Berryville	120	767	cable TV
15	monopole	T-Mobile USA Towers LLC	Rose Ary Ln	87	675	cell
16	monopole	SBA Properties, LLC	Loudoun County	165	1908	cell
17	monopole	Verizon Wireless	east of Mount Carmel R	99	923	cell
18	lattice	American Towers, LLC	Summit Point Motorspor	199	808	cell
19	lattice	WINC-FM	Freezeland Rd	160	2361	12 more here
20	lattice	Crown Communications Inc	Izaak Walton Park	167	839	cell
21	lattice	SBC Tower Holdings LLC	Burning Knolls	270	912	cell
22	water tank	Warren County	Fairgrounds	115	718	drinking water



Clarke County Mapping Office  
101 Chalmers Court, Suite B  
Berryville, VA 22611  
540-955-5133

September 30, 2016  
©1920towerstowers\_wfp\_topo.mxd



**Crown Castle WCF and American Tower WCF  
(Approximately 1,200-ft from each other)**

**DEPARTMENT OF TRANSPORTATION**  
Staunton/Edinburg Land Development  
14031 Old Valley Pike  
Edinburg, VA 22824

Dear Mr. Fincham:

We have reviewed the above subject Special Use Permit Application and Site Plan dated June 7, 2019 for impacts to the local roadways. Our records indicate that on February 5, 2003 we advised the applicant and property owner that a VDOT Land Use Permit was required for the construction of a commercial entrance for this site. However, it appears that instead a temporary construction entrance was installed without a permit and the monopole was erected. In accordance with Chapter 40 (§ 2.2-4000 et seq.) of Title 2.2 of the Code of Virginia, no work of any nature shall be performed on any real property under the ownership, control, or jurisdiction of department until written permission has been obtained from VDOT. Real property includes, but is not limited to, the right-of-way of any highway in the state highways system. Written permission is granted either by permit or a state-authorized contract let by VDOT. Below are the consequences for working on the State's right-of-way without a permit from the Virginia Administrative Code:

**24VAC30-151-50. Violations of rules and regulations.**

A. Objects placed on, above, or under the right-of-way in violation of the general rules and regulations shall be removed within 10 calendar days of receipt of notice from VDOT. Objects not removed within 10 calendar days shall be moved at the owner's expense. Objects requiring immediate removal for public safety, use, or maintenance of any highway shall be moved immediately at the owner's expense.

B. The permittee will be civilly liable to the Commonwealth for expenses and damages incurred by VDOT as a result of violation of any of the rules and regulations of this chapter. Violators shall be guilty of a misdemeanor and, upon conviction, shall be punished as provided for in § 33.2-210 (formerly § 33.1-19) of the Code of Virginia.

A paved VDOT standard low-volume commercial entrance will need to be installed under a Land Use Permit. The design for the entrance should be included with the site plan and will need to be submitted to this office for review and approval prior to any site work. I have attached a commercial entrance plan checklist to be submitted with the design. The Land Use Permit shall be obtained before any work is performed on the State's right-of-way. The permit is issued by this office and will require an application fee and surety coverage. Once satisfactory application has been made, a permit will normally take 10-14 days to process and issue.

We appreciate the County's efforts to include VDOT in the early planning stages for development and the opportunity to provide comments on this Special Use Permit. We ask that you include a copy of this transmittal for official public record. If you have any questions or need further information, please do not hesitate to give me a call.

Sincerely,

*Bobby Boyce*

Bobby Boyce  
VDOT Land Development Engineer  
Shenandoah, Frederick, Clarke, & Warren Counties  
14031 Old Valley Pike  
Edinburg, VA 22824  
[\(540\)984-5631](tel:(540)984-5631)



**County of Clarke, Virginia**  
**Department of Fire, EMS and Emergency Management**  
**Director Brian Lichty**



**MEMORANDUM**

To: Ryan Fincham, Senior Planner/Zoning Administrator

From: Brian Lichty, Director Fire, EMS and Emergency Management

Cc:

Date: June 26, 2019

RE: Special Use Permit (SUP-19-01)

In reference to the above special use permit I recommend the following:

- A "knox" box be installed at the site for any emergency access issues
- That space be left on the monopole for possible future expansion of the current Clarke County public safety radio system
- The applicant require all users of this facility to apply the recommendations of the Federal Communications Commission (FCC) "Best Practices Guide" to minimize the potential interference with the Clarke County public safety radio system.

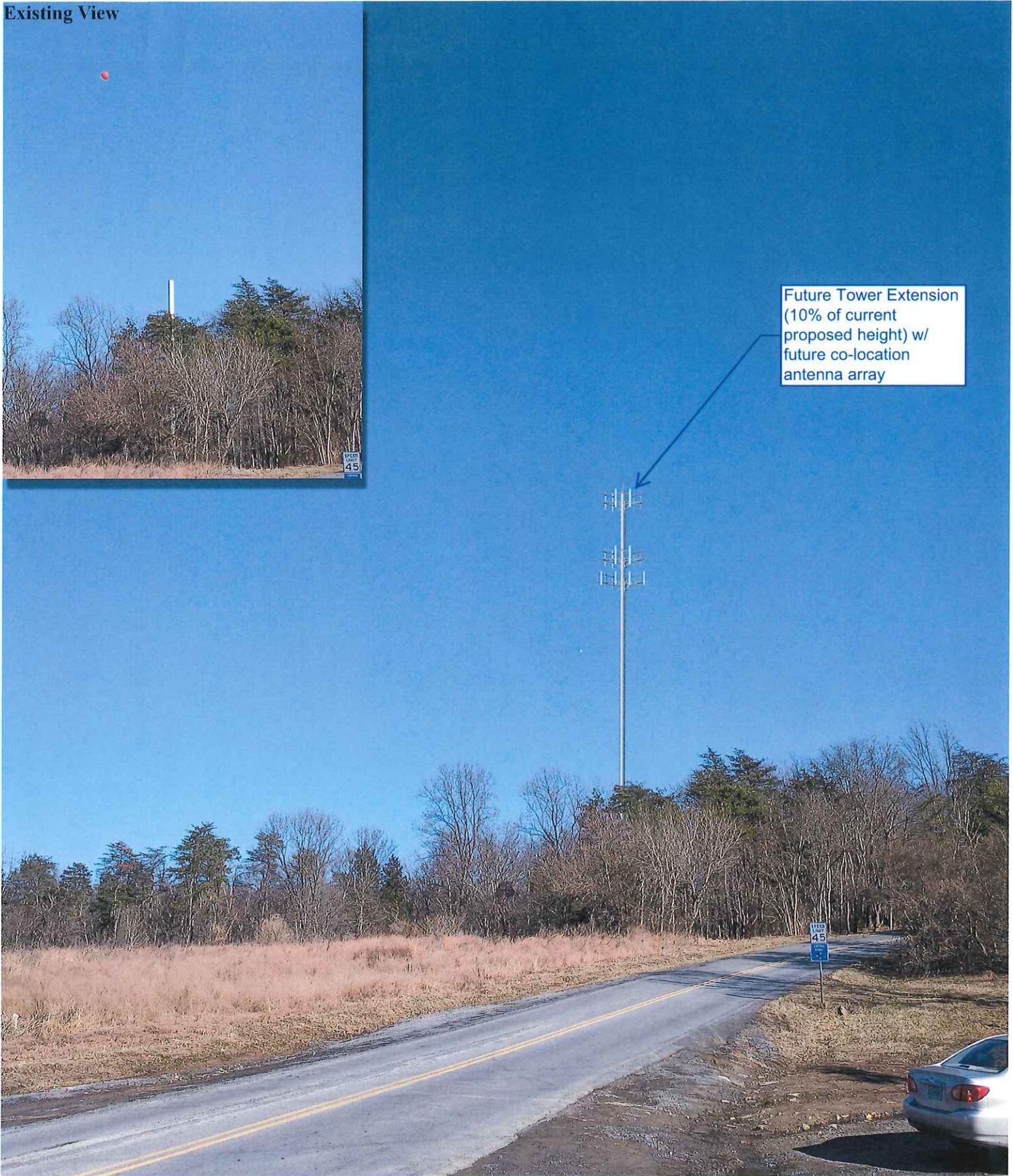
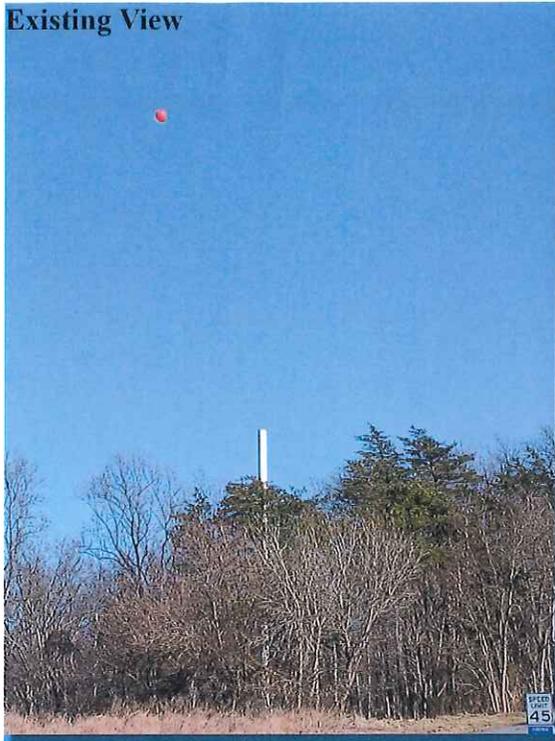
Should you have any further questions regarding my recommendations please feel free to contact me.

Existing View



Future Tower Extension  
 (10% of current  
 proposed height) w/  
 future co-location  
 antenna array

Existing View

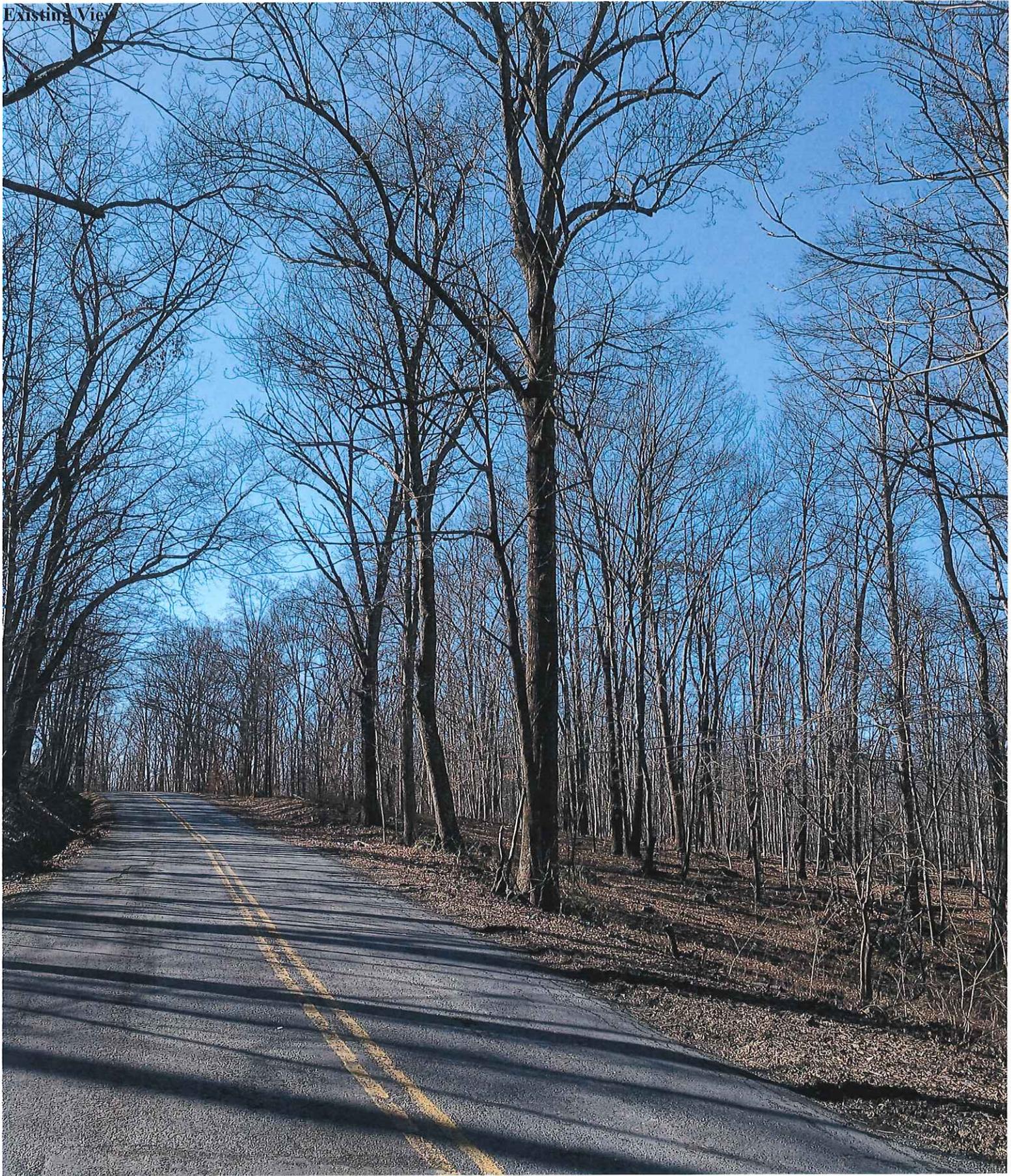


Future Tower Extension  
(10% of current  
proposed height) w/  
future co-location  
antenna array

Existing View



Existing View



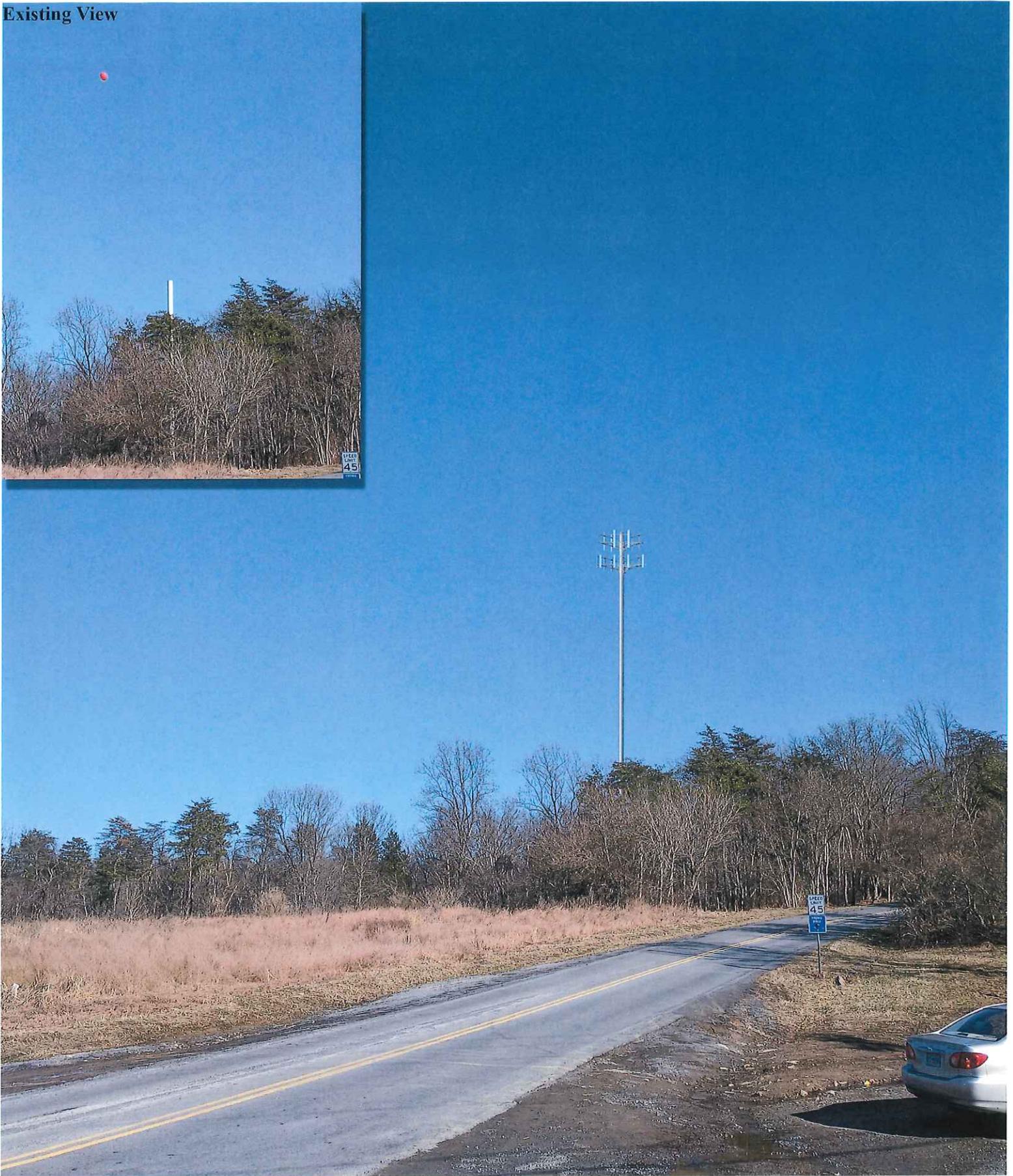
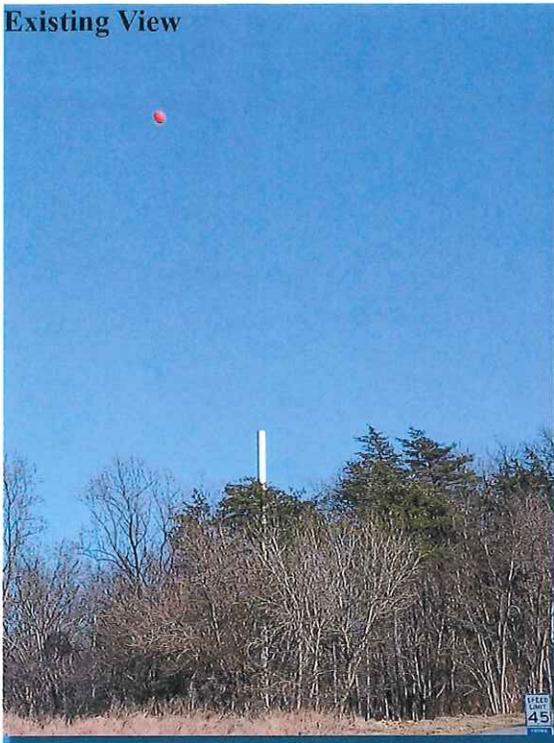
Existing View



Existing View



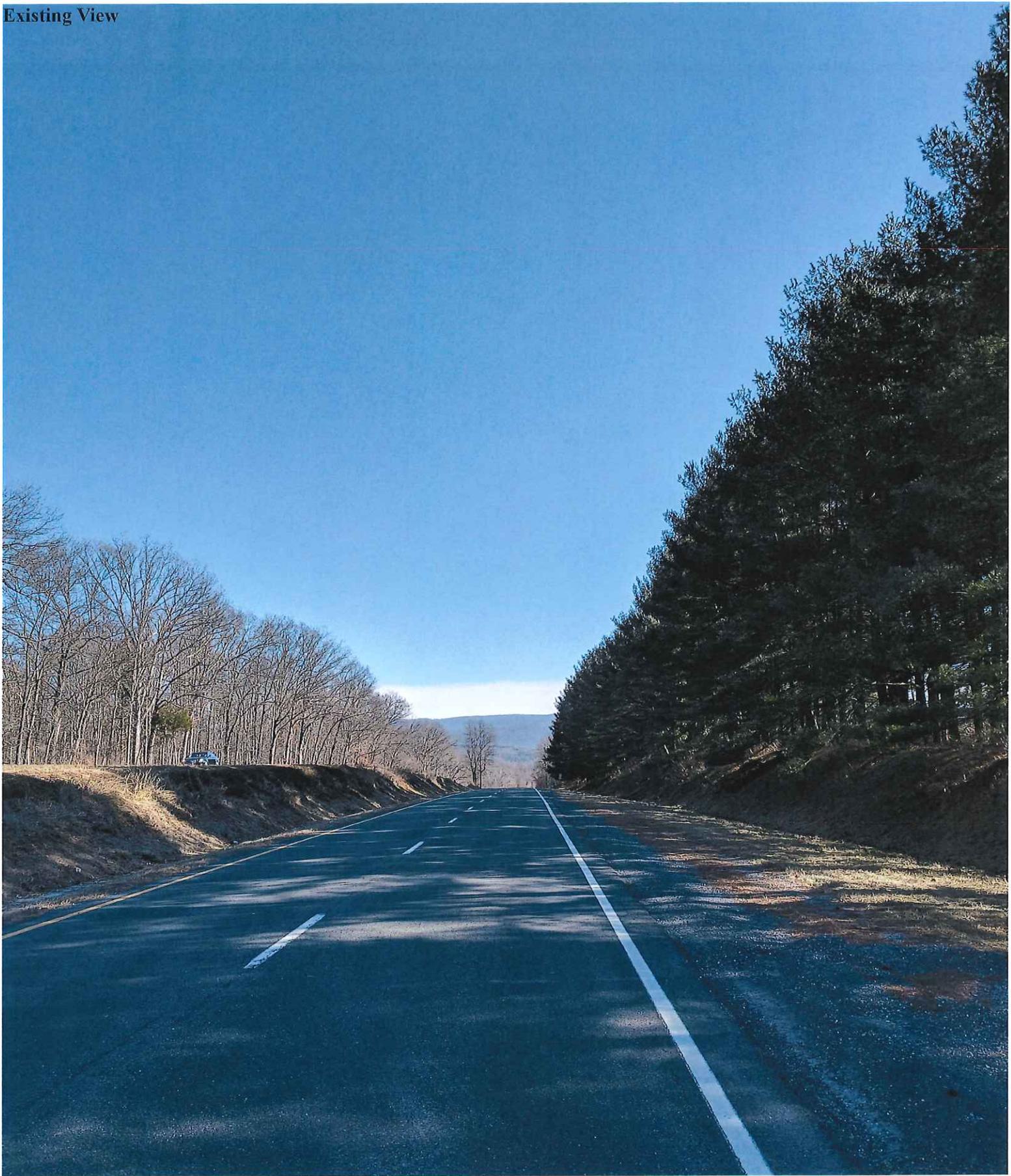
Existing View



Existing View



Existing View





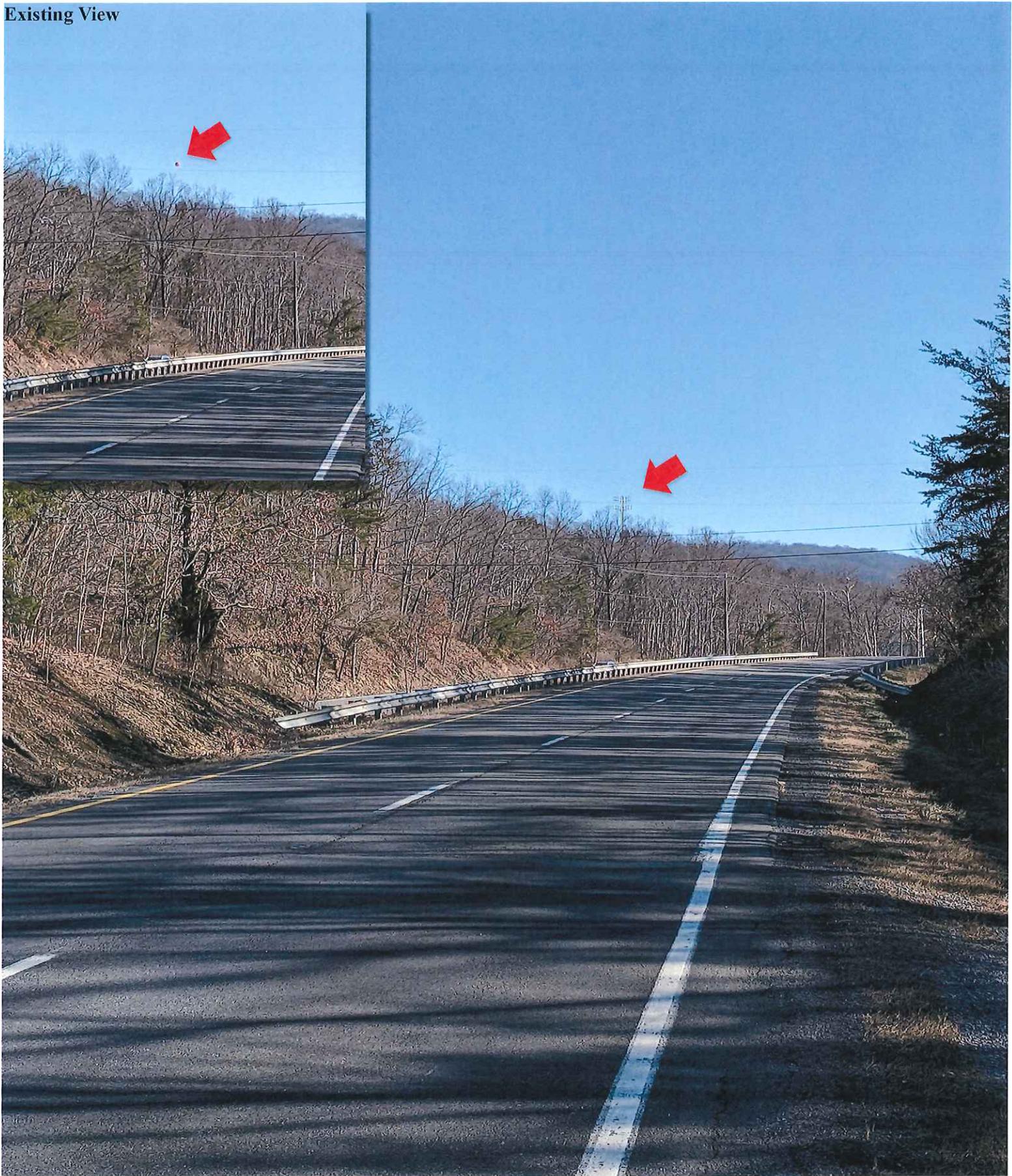
Existing View



Existing View



Existing View



185'-0" Monopole Tower - Visible

828704 - VanKeuren Paris

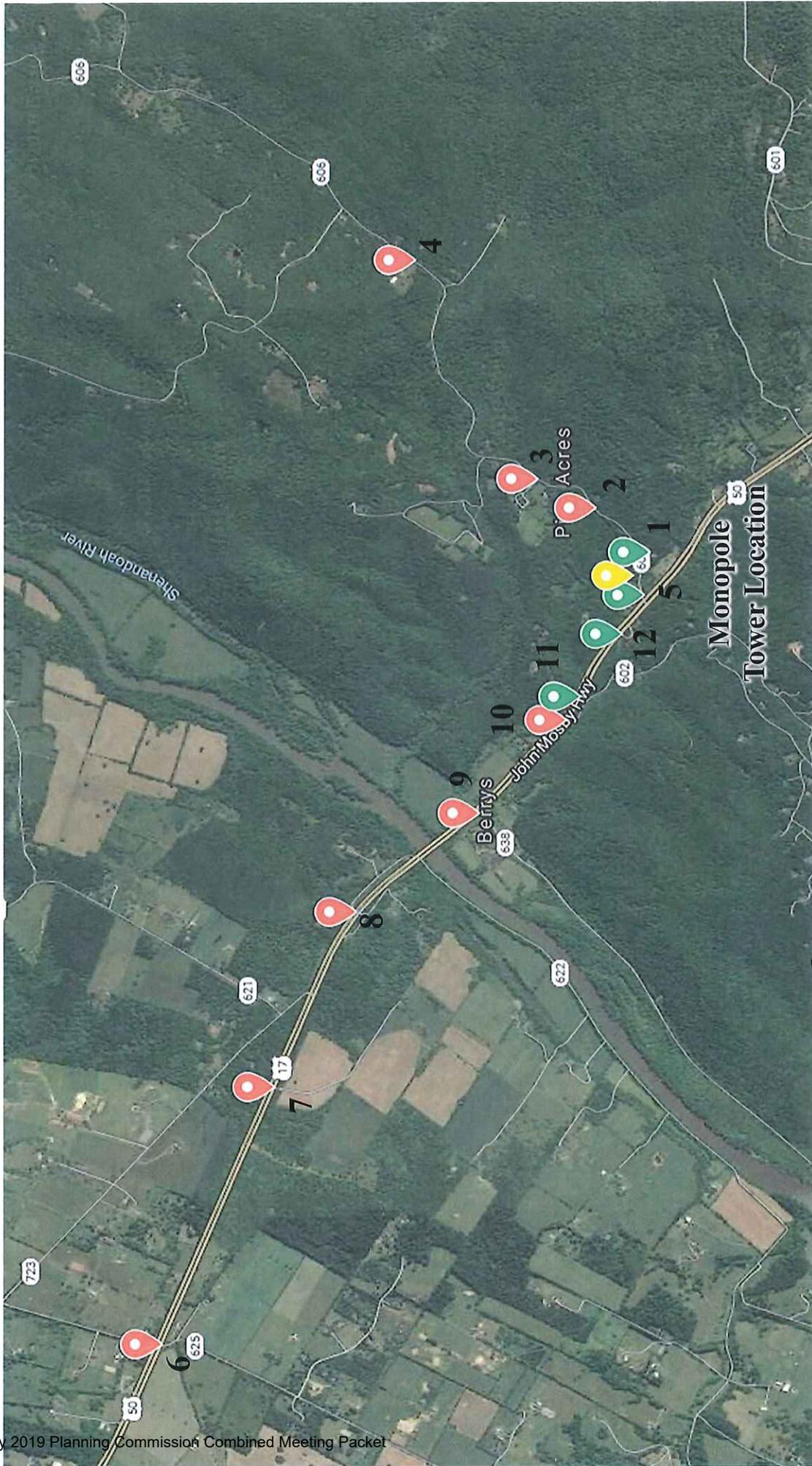
Existing View



185'-0" Monopole Tower - Visible

828704 - VanKeuren Paris

-  - Visible
-  - Not Visible



**MINOR SUBDIVISION (MS-19-03) & MAXIMUM LOT SIZE EXCEPTION (MLSE-19-02)**  
**Shannon Dulaney (Applicant) / Sharon Warfield (Owner)**  
**July 12, 2019 Planning Commission Meeting**  
**STAFF REPORT -- Department of Planning**

-----  
The purpose of this staff report is to provide information to the Planning Commission to assist them in reviewing this proposed minor subdivision. It may be useful to members of the general public interested in this proposed subdivision.  
-----

**Case Summary**

**Applicant(s):**

Shannon Dulaney (Applicant) / Sharon Warfield (Owner)

**Location:**

- Subject property is located at 987 Annfield Road
- Tax Map Parcel #22-A-17A & 17B
- White Post Election District (Robina Bouffault & Randy Buckley)

**Zoning District and Lot Guidelines:**

Agricultural Open Space-Conservation (AOC)

**Proposed Lot Configurations:**

95.7118 acres - Lot (1 Existing Dwelling & 2 DUR Remaining) \*MLSE Lot  
100.200 acres – Lot 2 (No Existing Dwelling & 3 DUR Remaining) \*100 acre (+) Remainder  
3.00 acres – Lot 4 (No Existing Dwelling & 1 DUR)  
198.9118 acres – Total Area

**Request:**

Request approval of a two lot Minor Subdivision and Maximum Lot Size Exception for the properties identified as Tax Maps #22-A-17A and 17B, located at 987 Annfield Road, White Post Election District, zoned Agricultural-Open Space-Conservation (AOC).

**Staff Discussion/Analysis:**

Several months ago, the Applicant provided Staff with plats and a narrative explaining a proposed merger and subdivision of the subject property for the purposes of estate planning. Staff presented the information to the Planning Commission Plans Review Committee on April 17, 2019. The committee took no action, but the consensus was that the Applicants proposal was satisfactory and met the intent of the Ordinance. Upon subdivision approval by the Commission, Tax Map Parcels 22-A-17A and 22-A-17B will be merged creating a lot 198.9118 acres in size, and then the merged lot will be immediately subdivided as depicted on the survey plats provided. The result will be three lots consisting of a 3.00 acre lot, a 95.7118 lot utilizing the MLSE allowance for the pre-1980 house located on that lot, and then a remaining lot over 100 acres in size, which according to the Ordinance is not a part of the minor subdivision.

Access:

The ingress/egress for Lots 1 and 2 will remain the existing driveway/farm road through Tax Map 22-A-17 (also family land) shown on the plat. Lot 4 access will be the VDOT approved entrance shown on the plat. VDOT has reviewed the plat and required some sight distance and grading revisions. The survey has been revised according to the VDOT requirements. The Applicant will work with VDOT to obtain proper permits before construction.

Water and Sewage Disposal:

Both lots have been field reviewed by the Health Department. The existing house on Lot 1 has an existing permitted 3 bedroom sewage disposal system. The proposed 100% reserve area has been reviewed and approved. Lot 1 is served by a private well as shown on the plat. The proposed 4 bedroom dispersal area and 100% reserve area for Lot 4 have been reviewed and approved. Lot 4 will be served by a proposed private well as shown on the plat. Per Ordinance, Lot 2 is not considered a lot for subdivision review (vacant and over 100 acres in size), and there is no requirement to provide septic and well approvals for vacant lots over 40 acres in size. VDH is prepared to sign the final plats once an application for a certification letter is received.

Karst Plan / Resistivity Test:

The resistivity tests have been reviewed and approved by County karst consultant Dan Rom for the proposed septic areas.

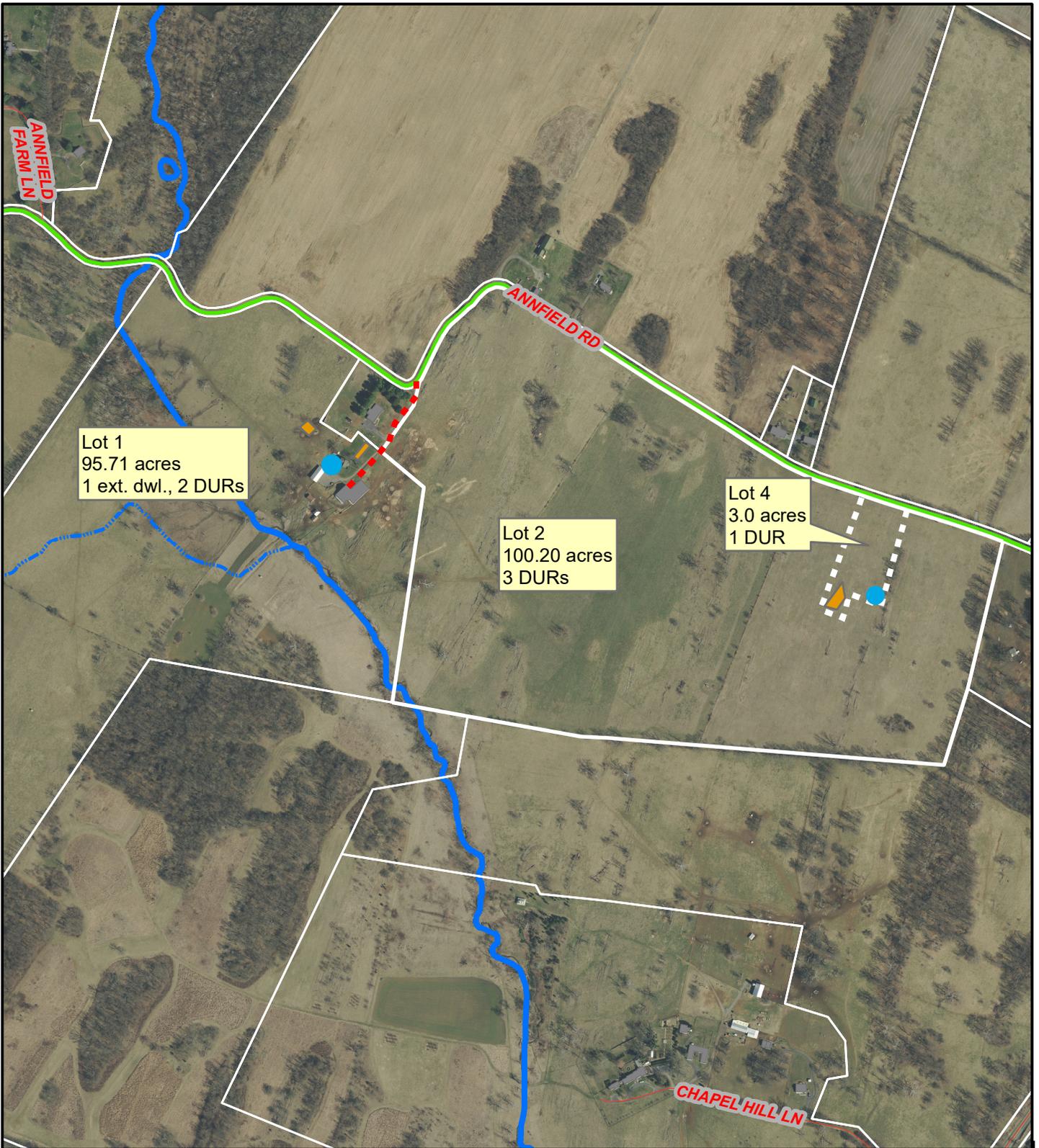
**Recommendation:**

Staff recommends approval of a two lot Minor Subdivision and Maximum Lot Size Exception for the properties identified as Tax Maps #22-A-17A and 17B, located at 987 Annfield Road, White Post Election District, zoned Agricultural-Open Space-Conservation (AOC).

-----

**History:**

- June 7, 2019                      Complete application filed with the Department of Planning.
- July 12, 2019                    Placed on the Commission’s Business Meeting agenda.



Lower Cottage Farm  
 Tax Map# 22-A-17A  
 198.91 acres, 1 dwl., 6 DURs



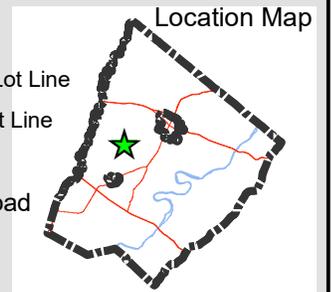
300 150 0 300 Feet



Clarke County GIS  
 June 28, 2019

**Legend**

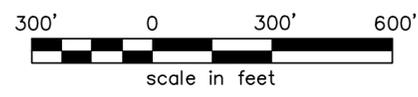
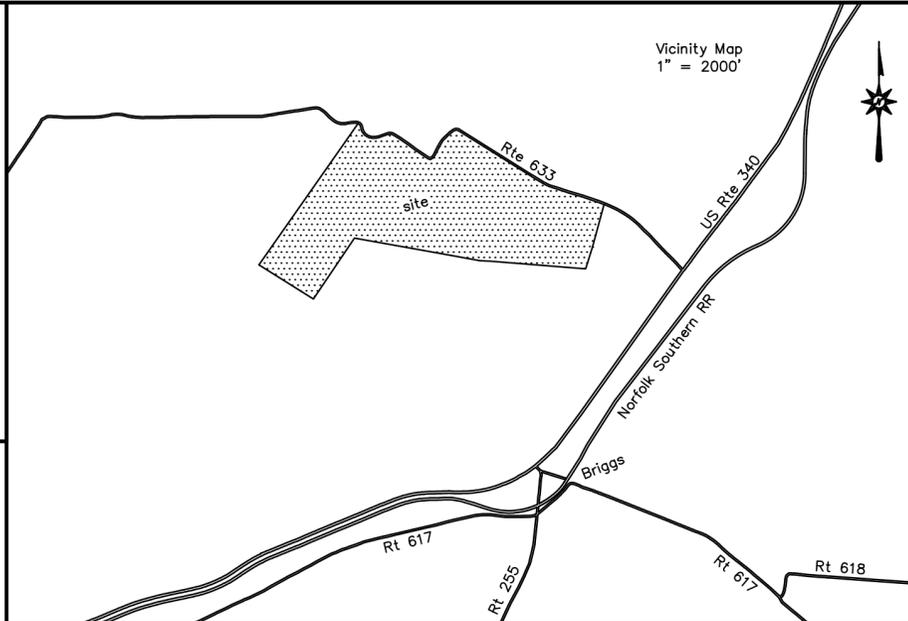
- Parcel Boundary
- Conservation Easements
- Structures
- Drainfield
- Well
- Proposed Lot Line
- Existing Lot Line
- Roads
- Private Road



Curve Table					Line Table			
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	LINE	BEARING	DISTANCE
C1	130.00'	62.20'	61.61'	N 31°47'11" W	27°24'51"	L1	S 18°04'45" E	53.61'
C2	215.00'	329.45'	298.15'	S 61°58'37" E	87°47'44"	L2	N 74°07'31" E	147.82'
C3	130.00'	127.20'	122.18'	N 77°50'42" W	56°03'35"	L3	S 49°48'54" E	412.82'
C4	3000.00'	186.22'	186.19'	S 31°23'31" W	3°33'24"	L4	S 48°24'24" E	37.64'
C5	265.00'	108.90'	108.14'	S 44°56'35" W	23°32'45"	L5	S 36°55'30" W	371.11'
C6	95.00'	132.69'	122.16'	S 87°53'32" W	80°01'35"	L6	S 52°59'15" E	177.87'
C7	750.00'	175.90'	175.50'	S 59°47'24" E	13°26'17"	L7	N 41°29'45" E	54.66'
C8	2100.00'	154.03'	154.00'	N 65°18'50" W	4°12'09"	L8	N 44°55'56" W	147.44'
						L9	S 40°03'24" W	275.27'
						L10	S 17°48'51" W	164.49'
						L11	N 33°10'13" E	10.34'
						L12	N 56°42'58" E	78.86'
						L13	S 52°05'41" E	143.17'
						L14	S 53°09'51" E	253.51'
						L15	S 51°59'13" E	467.43'
						L16	S 53°10'28" E	442.67'
						L17	S 53°04'16" E	282.34'
						L18	S 66°30'33" E	225.07'
						L19	S 67°47'41" E	227.22'
						L20	S 67°24'55" E	336.87'
						L21	N 47°52'44" E	118.49'

LINE	BEARING	DISTANCE
L1	S 18°04'45" E	53.61'
L2	N 74°07'31" E	147.82'
L3	S 49°48'54" E	412.82'
L4	S 48°24'24" E	37.64'
L5	S 36°55'30" W	371.11'
L6	S 52°59'15" E	177.87'
L7	N 41°29'45" E	54.66'
L8	N 44°55'56" W	147.44'
L9	S 40°03'24" W	275.27'
L10	S 17°48'51" W	164.49'
L11	N 33°10'13" E	10.34'
L12	N 56°42'58" E	78.86'
L13	S 52°05'41" E	143.17'
L14	S 53°09'51" E	253.51'
L15	S 51°59'13" E	467.43'
L16	S 53°10'28" E	442.67'
L17	S 53°04'16" E	282.34'
L18	S 66°30'33" E	225.07'
L19	S 67°47'41" E	227.22'
L20	S 67°24'55" E	336.87'
L21	N 47°52'44" E	118.49'

Notes:  
 (1) These lands are in Flood Zone X, established from FIRM Community Panel no. 51043C0135D, effective September 28, 2007.  
 (2) These parcels are in the AOC (agricultural - open space - conservation) Zoning District. Agriculture is the primary economic activity of this zoning district. Owners, residents, other users of property in the AOC District may be subjected to inconvenience, discomfort and the possibility of injury to property and health arising from agricultural operations even though conducted with best management practices and/or in accordance with existing laws and regulations of the Commonwealth and County. Such agricultural operations may generate noise, odors and dust, may involve the operation of machinery, including aircraft, the storage and disposal of manure, the application of fertilizer, soil amendments and pesticides. Owners, occupants and users of land in the AOC District should be prepared to accept such inconvenience or discomfort as a normal and necessary aspect of living in a zoning district in a county with a strong rural character and an active agricultural sector.  
 (3) Vegetated property buffer except for those land uses listed as exempt, existing woody vegetation within 25' of all property lines shall be retained on parcels of less than 20 acres, as per Section 3-A-1-f of the Clarke County Zoning Ordinance.  
 (4) Before fertilizers and pesticides are used for lawn or landscaping purposes, a soil test should be conducted. The application of such chemicals shall be limited due to the potential for groundwater contamination and should not exceed that determined necessary by the soil test.  
 (5) DUR = dwelling unit right; TM = tax map and parcel number



Thomas David Yannucci  
 & Lisa Marie Yannucci  
 TM 22-A-4  
 D.B. 532, P. 733  
 Z: AOC

Wayne S. Warfield, Jr  
 & Deanna L. Warfield  
 Lot 3  
 D.B. 616, P. 231  
 TM 22-A-17  
 Z: AOC

exist 30' private  
 access esmt  
 D.B. 498, P. 763

Sharon Kinder Warfield  
 100.5000 acres  
 TM 22-A-17A  
 1 exist dwl, 4 DUR  
 198.9118 acres after Lot Merger  
 1 exist dwl, 6 DUR  
 Z: AOC

Sharon Kinder Warfield  
 98.4118 acres  
 TM 22-A-17B  
 no exist dwl, 2 DUR  
 (no area after Lot Merger)  
 Z: AOC

Joseph W. Henderson, III  
 TM 22-A-12  
 D.B. 307, P. 776  
 Z: AOC

William D. Tavenner  
 TM 22-A-15  
 D.B. 595, P. 789  
 Z: AOC

Callander II, LLC  
 TM 22-A-5A  
 D.B. 546, P. 877  
 Z: AOC

Joseph W. Henderson, III  
 TM 22-A-11  
 D.B. 504, P. 512  
 Z: AOC

Joseph W. Henderson, III  
 TM 22-A-12A  
 D.B. 307, P. 776  
 Z: AOC



Surveyor's Certificate: I, W. Stuart Dunn, a duly licensed Land Surveyor in the Commonwealth of Virginia, do hereby certify that the lands herein Merged are in the name of Sharon Kinder Warfield, and were acquired by her as stated in the Owner's Certificate. I certify that these tracts of land are properly and accurately described and are within the boundary of the original tracts.

W. Stuart Dunn, CLS #2000  
 Berryville, Virginia

Owner's Certificate: The undersigned fee simple owner hereby certifies that the foregoing Lot Merger of 100.5000 acres, TM 22-A-17A, and 98.4118 acres, Tax Map 22-A-17B, recorded in the name of Sharon Kinder Warfield, in deed recorded in Deed Book 613, Page 257, is made with the free consent and in accordance with the desires of the undersigned owner, trustees if any, of said lands and the same is hereby confirmed and submitted for record in the Office of the Clerk of the Circuit Court of Clarke County, Virginia.

Sharon Kinder Warfield  
 2955 Allen Road, Berryville, VA 22611

Commonwealth of Virginia, County of Clarke, to wit: I, \_\_\_\_\_, a Notary Public for said County of Clarke, do hereby certify that Sharon Kinder Warfield, whose name is signed in the Owner's Certificate, has acknowledged the same before me.

My commission expires:

Given under my hand this \_\_\_\_\_ day of \_\_\_\_\_ 2019.

Notary Public

Approval:  
 This Lot Merger is excepted from the Clarke County Subdivision Ordinance pursuant to Section 3-D-8 of the Clarke County Zoning Ordinance and Section 10-E of the Clarke County Subdivision Ordinance.

Clarke County Zoning Administrator

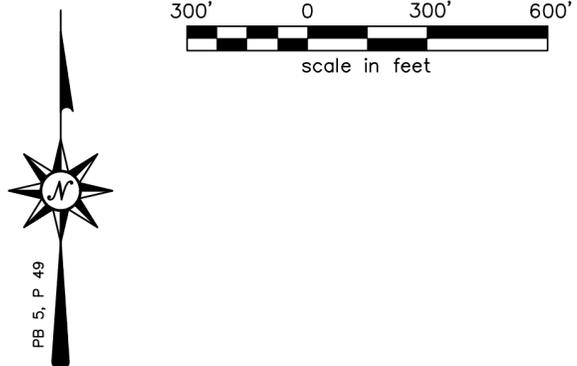
date:

Dunn Land Surveys, Inc.  
 106 North Church Street  
 Berryville, Virginia 22611  
 Tel: 540-955-3388  
 May 22, 2019  
 rev July 2, 2019

Survey no. 1157A\_mrg

Area Table:		
100.5000 acres	area of TM 22-A-14A	(1 exist dwl, 2 DUR)
+ 98.4118 acres	area of TM 22-A-14B	(no exist dwl, 4 DUR)
198.9118 acres	area of TM 22-A-14A after Lot Merger	(1 exist dwl, 6 DUR)

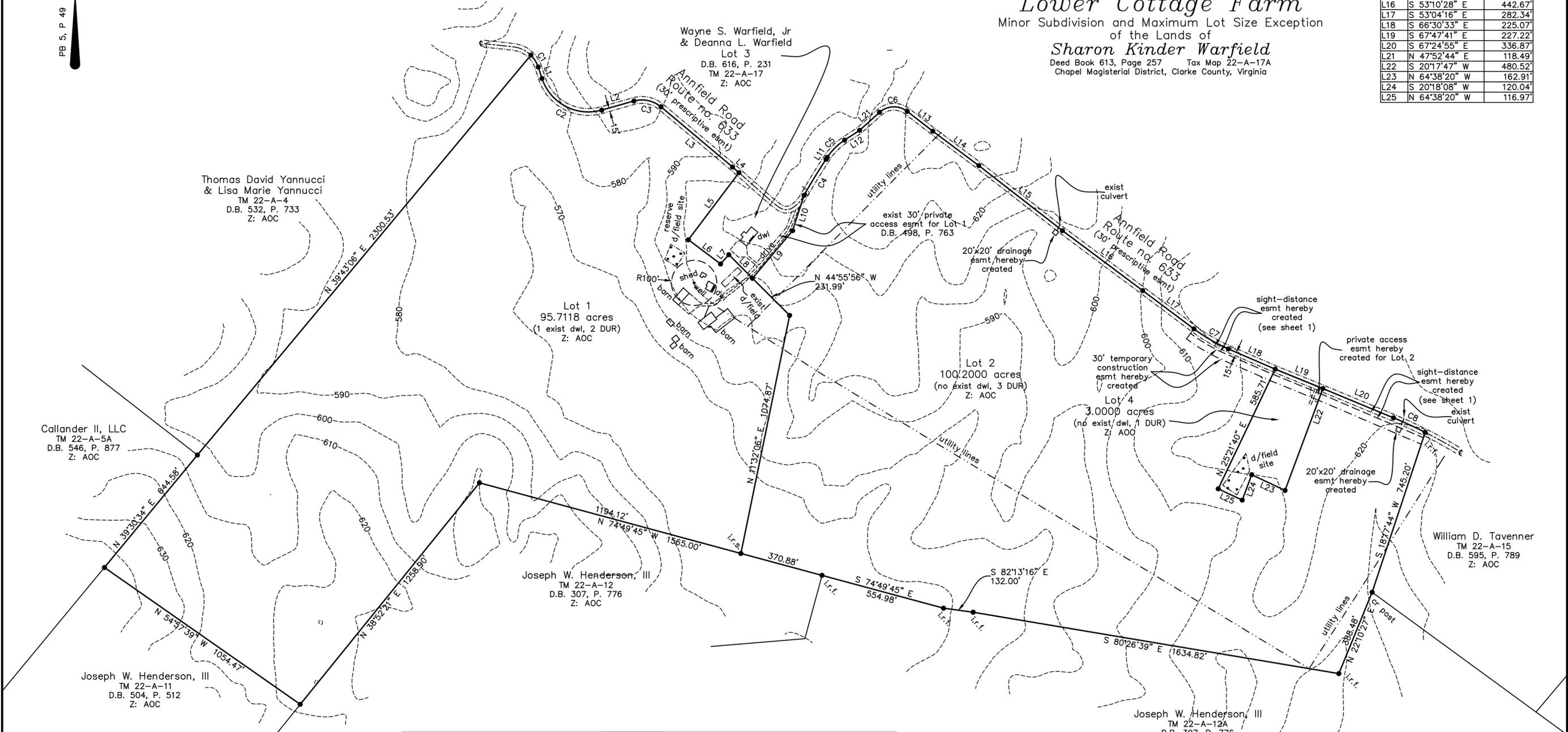




**Notes:**  
 (1) Ingress and egress to Lot 1 will be over the existing 30' private access easement shown on sheet 2. A deed of easement is recorded in Deed Book 498, Page 763.  
 (2) Ingress and egress to Lot 2 will be over the private access easement created on Lot 4. The VA Department of Transportation has approved the entrance on Lot 4 conditional on the following:  
 a) Lowering a portion of the cut slope, removal of fence and vegetation, on Lots 2 and 4, sufficient to ensure sight-distance standards.  
 b) Creation of a sight-distance easement over Lots 2 and 4, as shown hereon.  
 c) A Land Use Permit shall be obtained prior to any work being performed on the State's right-of-way.  
 d) Creation of Drainage Easements at existing culverts, as shown.

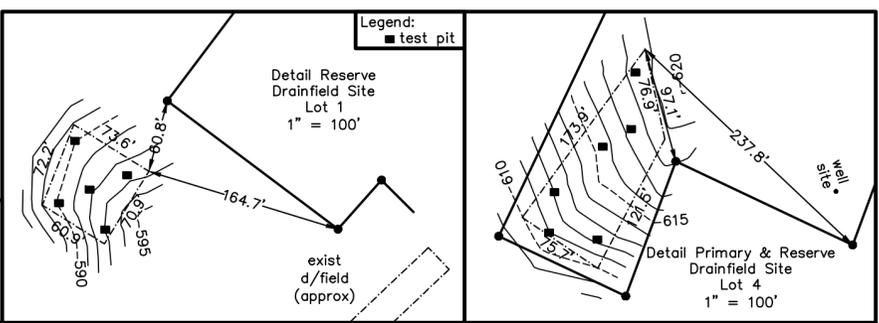
Curve Table						Line Table		
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	LINE	BEARING	DISTANCE
C1	130.00'	62.20'	61.61'	N 31°47'11" W	27°24'51"	L1	S 18°04'45" E	53.61'
C2	215.00'	329.45'	298.15'	S 61°58'37" E	87°47'44"	L2	N 74°07'31" E	147.82'
C3	130.00'	127.20'	122.18'	N 77°50'42" W	56°03'35"	L3	S 49°48'54" E	412.82'
C4	3000.00'	186.22'	186.19'	S 31°23'31" W	3°33'24"	L4	S 48°24'24" E	37.64'
C5	265.00'	108.90'	108.14'	S 44°56'35" W	23°32'45"	L5	S 36°55'30" W	371.11'
C6	95.00'	132.69'	122.16'	S 87°53'32" W	80°01'35"	L6	S 52°59'15" E	177.87'
C7	750.00'	175.90'	175.50'	S 59°47'24" E	13°26'17"	L7	N 41°29'45" E	54.66'
C8	2100.00'	154.03'	154.00'	N 65°18'50" W	4°12'09"	L8	N 44°55'56" W	147.44'
						L9	S 40°03'24" W	275.27'
						L10	S 17°48'51" W	164.49'
						L11	N 33°10'13" E	10.34'
						L12	N 56°42'58" E	78.86'
						L13	S 52°05'41" E	143.17'
						L14	S 53°09'51" E	253.51'
						L15	S 51°59'13" E	467.43'
						L16	S 53°10'28" E	442.67'
						L17	S 53°04'16" E	282.34'
						L18	S 66°30'33" E	225.07'
						L19	S 67°47'41" E	227.22'
						L20	S 67°24'55" E	336.87'
						L21	N 47°52'44" E	118.49'
						L22	S 20°17'47" W	480.52'
						L23	N 64°38'20" W	162.91'
						L24	S 20°18'08" W	120.04'
						L25	N 64°38'20" W	116.97'

**Lower Cottage Farm**  
 Minor Subdivision and Maximum Lot Size Exception  
 of the Lands of  
**Sharon Kinder Warfield**  
 Deed Book 613, Page 257 Tax Map 22-A-17A  
 Chapel Magisterial District, Clarke County, Virginia



**Area Table:**

198.9118 acres	area of TM 22-A-17A	(1 exist dwl, 6 DUR)
95.7118 acres	area of Lot 1	(1 exist dwl, 2 DUR)
100.2000 acres	area of Lot 2	(no exist dwl, 3 DUR)
3.0000 acres	area of Lot 4	(no exist dwl, 1 DUR)



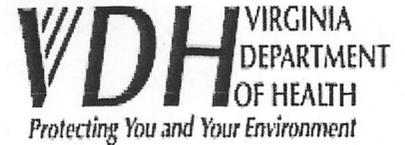
Dunn Land Surveys, Inc.  
 106 North Church Street  
 Berryville, Virginia 22611  
 Tel: 540-955-3388  
 June 5, 2019  
 rev July 2, 2019

Survey no. 1157A\_sub  
 sheet 2 of 2



# Lord Fairfax Health District

Clarke County Health Department  
100 North Buckmarsh Street  
Berryville, Virginia 22611  
Tel. (540) 955-1033 ~ Fax (540) 955-4094  
[www.vdh.virginia.gov](http://www.vdh.virginia.gov)



June 11, 2019

Ryan Fincham  
Senior Planner/Zoning Administrator  
101 Chalmers Court  
Berryville, Virginia 22611

## RE: MINOR SUBDIVISION PRELIMINARY REVIEW COMMENTS

Applicant Name: Sharon Warfield  
Health Department I.D. #: 043190083  
Tax Map #: 22-A-17A  
Proposed Lots: 2 Lots

Dear Mr. Fincham,

Pursuant to your written request, we have evaluated the aforementioned minor subdivision proposal, and offer the following comments at this point in the review process.

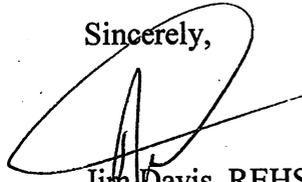
### OWNER/APPLICANT ITEMS:

1. The applicant has not yet applied for a Certification Letter for a 100% Reserve Area for proposed Lot 1 or for a Certification Letter/Construction Permit for proposed Lot 4 as required.
2. Proposed Lot 1 (95.7118 acres) in which a house currently sits is served by an onsite sewage system. There is a record on file for a sewage disposal system construction permit dated May 1, 1979 and a record of inspection dated July 16, 1979. The system was designed for Three (3) bedrooms. No reserve area was required at time of permit issuance. On May 29, 2019, This department field reviewed the site and soils for a proposed 100% Reserve Area, no outstanding issues were noted. The proposed sewage system design is for TL-3 effluent to be dispersed to shallow trenches, install depth 12 inches. The proposed 100% Reserve Area is 100 feet minimum from an existing private well.

3. Proposed Lot 4 (3.0000 acres) is vacant. The project OSE located a site for a conventional primary drainfield and TL-3/drip 100% reserve area. The site and soils were field reviewed on May 29, 2019, no outstanding issues were noted. The proposed design is for a Four (4) bedroom dwelling and will be served by a private well.
4. The office has received documentation that resistivity testing has been conducted for the proposed primary dispersal area and 100% Reserve Area for Lot 4 but no documentation has been received regarding possible resistivity testing for the proposed 100% Reserve Area for Lot 1.

This letter does not serve as an approval of the proposed subdivision, or its parts. If you have any questions, please contact me at 540.955.1033

Sincerely,



Jim Davis, REHS  
Environmental Health Supervisor

PC: Sharon K. Warfield  
Robert Charnley, OSE  
Stuart Dunn, Land Surveyor  
Health Department File

**DEPARTMENT OF TRANSPORTATION**  
Staunton/Edinburg Land Development  
14031 Old Valley Pike  
Edinburg, VA 22824

Dear Mr. Fincham:

We have reviewed the above referenced subdivision plat dated June 5, 2019 by Dunn Land Surveys, Inc for impacts to the local road system. Route 633 is a 16' wide rural road on a 30' wide prescriptive easement carrying approximately 60 trips/day. This road has substandard pavement width, shoulders, vertical and horizontal alignment (curves), sight distance, and drainage features, and insufficient right-of-way for any improvements. The proposed 6 DUR's will double the traffic on this section of road, while not providing any proposed right-of-way or easements for future improvements or maintenance on the road frontage. Our comments on the subdivision are as follows:

- Entrance sight distance for Lot 4 can be obtained within the limits of Lot 2 by lowering the cut slope and removing trees and fence. However, the limits of any grading and sight distance easements will need to be determined by the surveyor and dedicated to allow Lot 4 to do this work and maintain the sight distance perpetually on the frontage of Lot 2. A sight distance plan, profile, and cross-sections are needed to determine the limits of cut unless the work is done ahead of time. Then only a sight distance easement would be needed for Lot 4 to maintain safe sight distance across the front of Lot 2. Address accordingly.
- The existing 30' prescriptive easement (15' from centerline) on Route 633 does not allow adequate area to maintain or improve existing roadway safety items, sight distance, and drainage features. A 25' right-of-way dedication from centerline of Route 633 (10' additional feet) should be dedicated to public use for the roadway. The right-of-way dedication can be subtracted from the property's taxed acreage.
- A sight distance easement will not be required for Lot 4 if the above mentioned right-of-way is dedicated for Annfield Road. Additional public right-of-way on Route 633 will provide an area where entrance sight distance can be obtained and maintained for any adjacent access points existing or future.
- Are any grading or sight distance easements (or right-of-way dedication) needed for future proposed entrances on Lot 2 across the front of Lot 4? A master plan of future subdivisions for the remaining DUR's will help to determine needs prior to lots changing ownership. The above requested 25' right-of-way dedication to public use should minimize or eliminate the need for grading or sight distance easements.
- A minimum 20'x 20' drainage easements should be dedicated at all existing (or needed roadway) cross culverts (invert in and out). In many cases, road right-of-ways must be supplemented with drainage easements just to handle a minimum 10-year rainfall event.
- A Land Use Permit shall be obtained before any work is performed on the State's right-of-way. The permit is issued by this office and will require an application fee and surety coverage. Once satisfactory application has been made, a permit will normally take 10-20 days to process and issue.

We appreciate the County's efforts to include VDOT in the early planning stages for development and the opportunity to provide comments on this subdivision. We ask that you include a copy of this official public record in file for the subdivision. If you have any questions or need further information, please do not hesitate to give me a call.

Sincerely,

*Bobby Boyce*

Bobby Boyce

VDOT- Land Development Engineer  
Clarke, Frederick, Shenandoah, & Warren Counties  
14031 Old Valley Pike  
Edinburg, VA 22824  
[\(540\)984-5631](tel:(540)984-5631)